

WHAT'S TODAY ABOUT?

- 1. About Community Open House
- 2. Opportunity Sites Review
- 3. Community Feedback
- 4. Planning Framework Review
- 5. Community Feedback
- 6. Next Steps

O PROCESS TIMELINE

We are here!



Understanding where Woodridge is today and building a strong foundation of knowledge for visioning.





Thinking big for the come to the table to





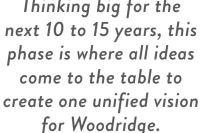
Now that we know where we want to go, let's figure out how we get there through crafting realistic strategies.





















O WOODRIDGE SPEAKS

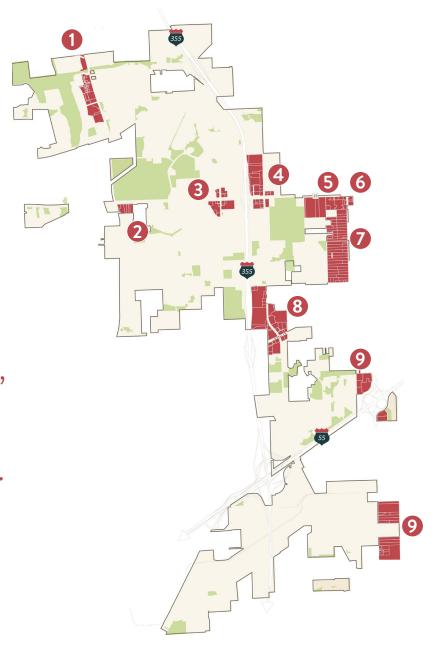
Visioning Open House





OPPORTUNITY AREAS

- Key areas with **strong potential** to shape the Village's future.
- Typically underutilized, prominently located, and well-positioned for near- or mid-term redevelopment.
- Offer a chance to introduce new housing, retail, or mixed-use projects that align with community goals.
- All have the potential to catalyze broader investment and may benefit from strategic Village involvement to unlock their full impact.



OPPORTUNITY AREA CONCEPTS

 Not final plans, but ideas meant to gather input from the Village and residents.

 Meant to spur conversation with developers in order to encourage future investment.



Which elements of this concept do you like best? Add a sticker in the column next to the elements you like below.



On a scale of 1 to 3 does this capture your vision for the Opportunity Area? Add a sticker to the scale.

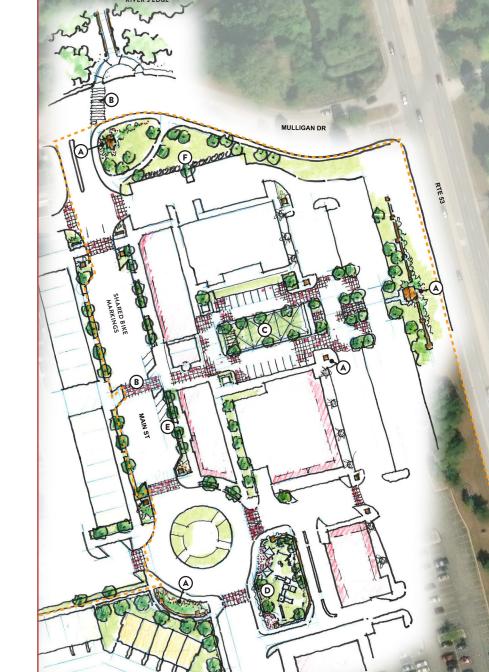
We welcome comments on sticky notes anywhere you see needed!

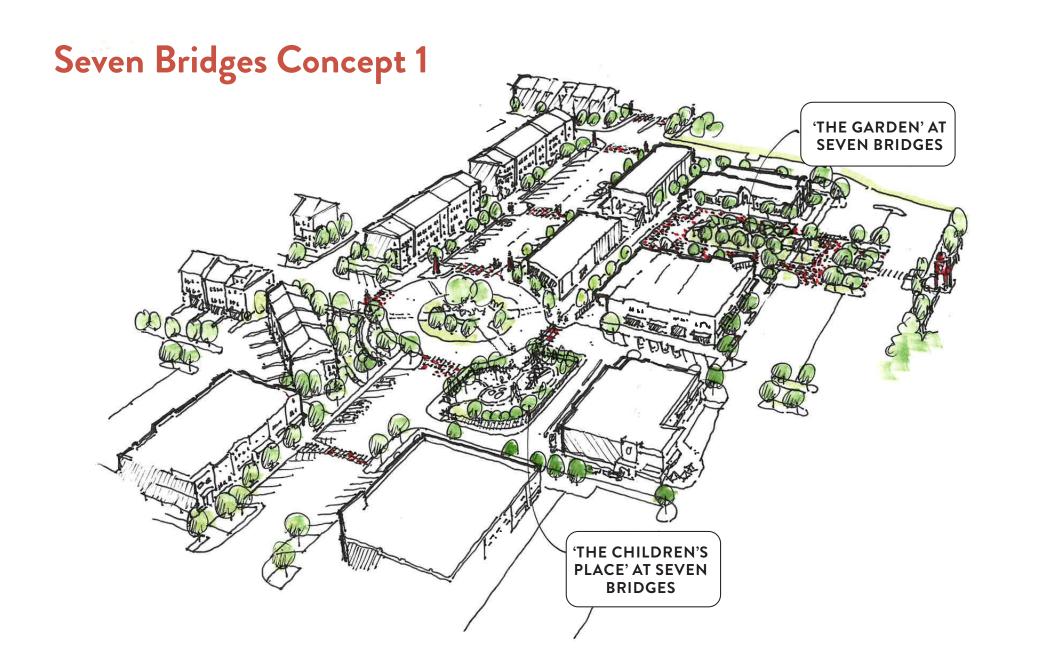


Seven Bridges Concept 1

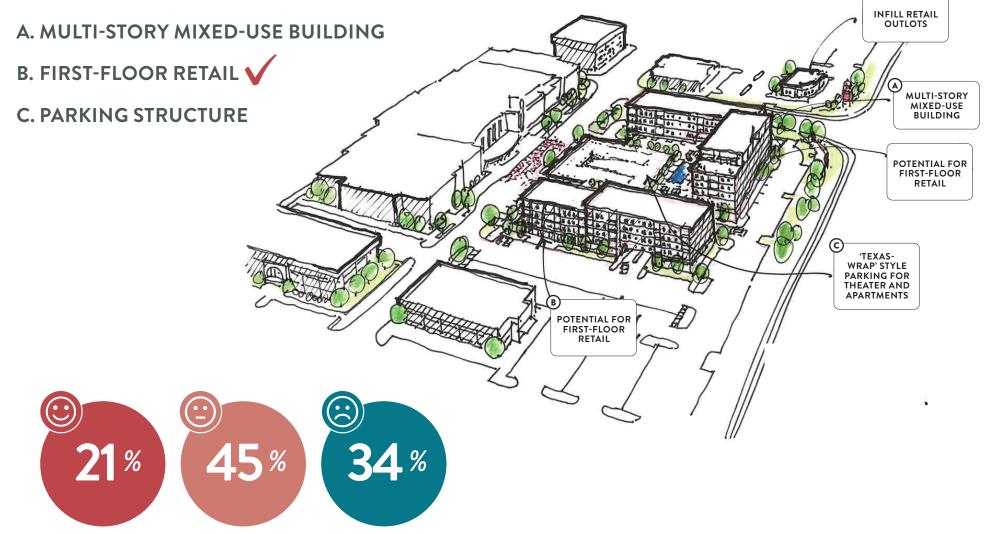
- A. TOWN CENTER BRANDING
- B. ENHANCED PEDESTRIAN CROSSINGS AND WALKWAYS
- C. 'THE GARDEN' AT SEVEN BRIDGES
- D. 'THE CHILDREN'S PLACE'
- E. SEASONAL PLANTINGS & STREET TREES
- F. BIKE PARKING
- G. FACADE ENHANCEMENTS







Seven Bridges Concept 2



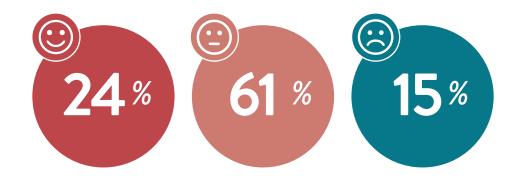
- Many respondents voiced concern about adding more multi-family housing, citing issues like overcrowding, traffic, school capacity, lack of affordability.
- Some would like to see more amenities built before more housing is developed.
- Residents expressed support for amenities like bike paths, pedestrian connections across Route 53, small parks, outdoor dining, and teen spaces.
- Some residents liked elements such as the garden area, children's space, or boutique retail, but others are concerned that these areas won't be well-utilized and suggested amenities like a dog park instead.

Rivers Edge Concept 1

A. GATEWAY BRANDING ELEMENTS

B. COMMERCIAL BUILDINGS

C. PEDESTRIAN CONNECTIONS





Rivers Edge Concept 2

- A. GATEWAY BRANDING ELEMENTS
- **B. COMMERCIAL BUILDING**
- C. MIXED-USE RETAIL & RESIDENTIAL BUILDING
- D. PEDESTRIAN CONNECTIONS





- Many respondents emphasized the need for safer access between neighborhoods and Seven Bridges.
- Several voiced opposition to adding more housing, especially apartments, citing concerns about overcrowding and traffic. Others were in favor of residential, saying it would be successful in this area.
- Residents expressed **concern about drive-thrus**, particularly due to their negative impact on pedestrian safety and lack of alignment with the desired character of the area.
- While some supported mixed-use development, others favored limiting it to unique, community-serving retail such as coffee shops or grocery stores.
- Residents encouraged preserving green space, minimizing parking lot visibility, planting trees, and incorporating permeable surfaces.

Route 53 & 75th Street Concept 1

A. EXPANDED GAS PUMPS WITH CANOPY

B. EXPANDED MARKETPLACE

C. COMMUNITY GATEWAY ELEMENT





Route 53 & 75th Street Concept 2

A. COMMUNITY GATEWAY ELEMENT



- **B. SIGNAGE AND STREETSCAPE IMPROVEMENTS**
- C. EXPANDED RETAIL
- D. GAS STATION/MARKETPLACE





Route 53 & 75th Street Concept 3

- A. GATEWAY FEATURES
- B. SIGNAGE AND STREETSCAPE IMPROVEMENTS
- C. EXPANDED RETAIL
- D. CLUSTER ROWHOME DEVELOPMENT
- E. GAS STATION/MARKETPLACE



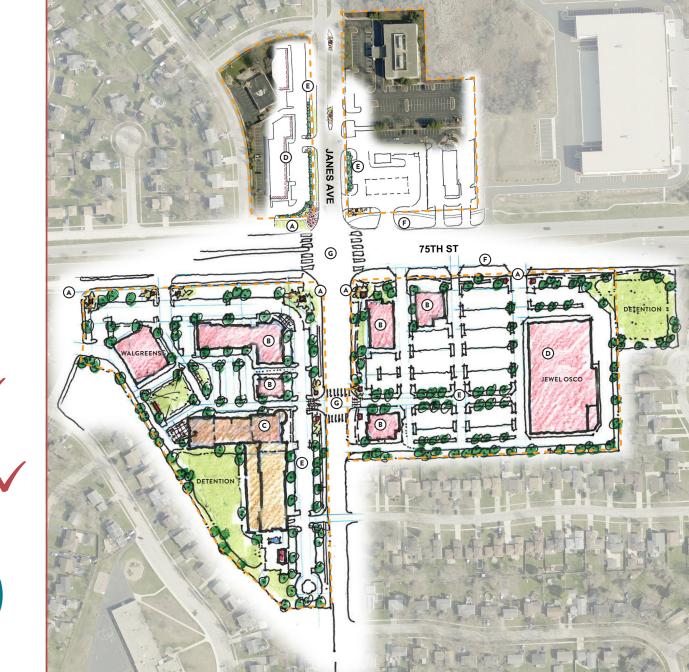


- Some supported additional commercial uses, such as a small grocery store, deli, or pharmacy to serve nearby neighborhoods.
- Residents cited the dangerous traffic conditions and frequent accidents at the intersection of 75th Street and Route 53. Many felt that adding any new development could worsen congestion and create safety hazards.
- Some supported new housing if it focused on specific needs, such as high-quality 55+ housing, modest single-family homes, or accessible housing options that minimize stairs.
- Respondents emphasized preserving trees, avoiding unnecessary development of open space, and requiring environmentally sensitive site design. Suggestions included greenways, walking paths, and stronger rules for permeability and greenscaping.

75th Street & Janes Avenue

- A. GATEWAY BRANDING ELEMENTS
- B. NEW COMMERCIAL V
- C. MIXED-USE RETAIL & RESIDENTIAL BUILDING
- D. FACADE ENHANCEMENTS
- E. IMPROVED LANDSCAPING
- F. MEANDERING WALKWAYS
- G. PEDESTRIAN CONNECTIONS



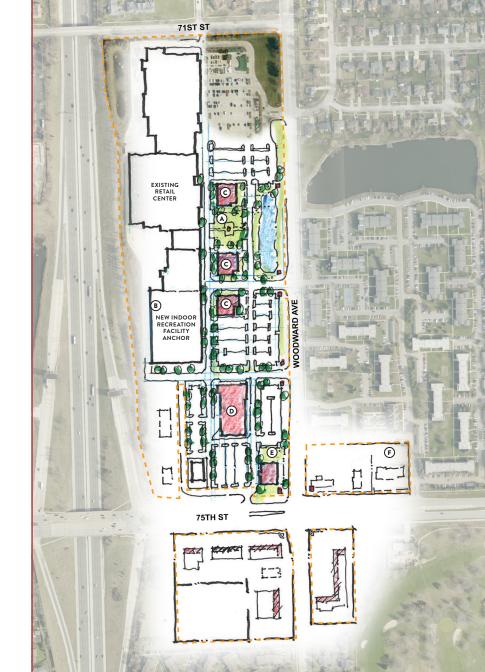


- Participants frequently noted that the area feels **outdated or neglected**. They called for **reinvestment in existing commercial** sites like Jewel and older strip malls, rather than building new developments.
- Many mentioned the need for **improved sidewalks**, **safer crossings**, and more **walkable connections**, especially to nearby schools, parks, and public facilities.
- Residents described this area as congested and difficult to navigate.
 Many said infrastructure should be improved before adding any new uses, whether residential or commercial.
- Many would like to see unique commercial uses here instead of chains, and some are against developing any residential in this area.

Centerpointe Plaza Concept 1

- A. GREEN GATHERING SPACE
- B. FAMILY-FRIENDLY COMMERCIAL TENANT
- C. RESTAURANT CLUSTER
- D. SMALL-BOX RETAIL
- E. KINDERCARE RELOCATION
- F. POTENTIAL REDEVELOPMENT SITE
- G. FACADE IMPROVEMENTS





Centerpointe Plaza Concept 2

- A. GREEN GATHERING SPACE
- **B. 4-STORY APARTMENT BUILDING**
- C. ROWHOMES
- D. NEW RETAIL 🗸
- **E. NEW OFFICE**
- F. VILLAGE GATEWAY ELEMENTS
- G. NEW GAS STATION/MARKET



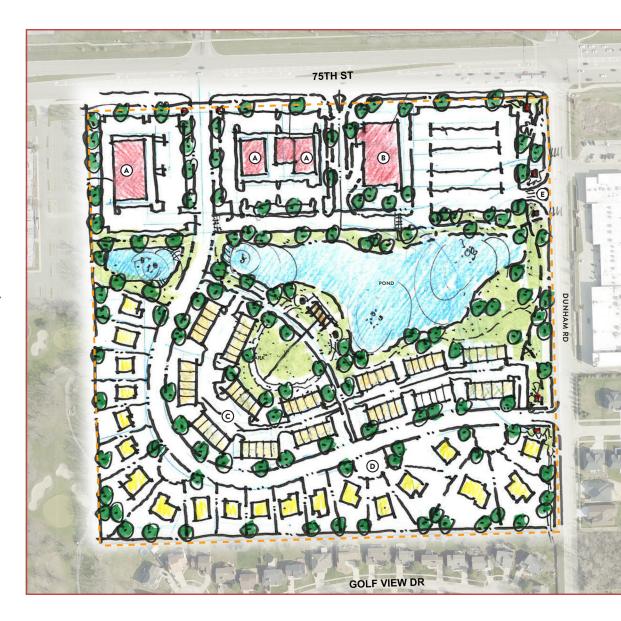


- Participants are concerned about the idea of replacing key businesses like Home Depot or Bear Paddle. Residents see these as valuable community assets that should be preserved.
- There's a desire for **fun and inclusive community spaces**, especially places where **teens and families can gather**, such as recreation centers, swimming facilities, or entertainment venues.
- Residents explained that they would like to see a **grocery store** here, such as Aldi or Trader Joe's.
- Most participants are against locating housing here, though several stated that **condos** (rather than rentals) would be acceptable here.

Zigfield Troy Concept 1

- A. NEW RETAIL \checkmark
- B. NEW GROCER
- C. TOWNHOME/ROWHOME DEVELOPMENT
- D. DETACHED HOUSING DEVELOPMENT
- E. CONNECTIONS TO WOODGROVE
 FESTIVAL





Zigfield Troy Concept 2

- A. NEW INDOOR REC-PLEX
- B. NEW GROCER
- C. MAINTAINED OR REDEVELOPED SHORT-GAME COURSE
- D. NEIGHBORHOOD GREENWAY PARK
- E. REORIENTED DUNHAM ROAD





Zigfield Troy Concept 3

A. NEW COMMUNITY RETAIL

B. COMMUNITY PARK

C. EVENT/CONCERT STAGE

D. REORIENTED DUNHAM ROAD





- Many are against the potential loss of the golf course. Residents emphasized its value for families, teens, seniors, and community tradition, asking for it to remain open or be repurposed as a green space for recreation, not development. They support community parks, trails, splash pads, a stage or festival area, and outdoor recreation that brings residents together.
- Many are in favor of an additional grocery store here, but are less excited about additional commercial when nearby commercial is perceived to be struggling.
- Participants would like this area to be designed with respect for surrounding neighborhoods.
- Several participants are in favor of the creative infrastructure improvements and believe that they would serve to calm traffic while reducing congestion.

Woodgrove Festival

- A. NEW CENTRAL GREEN ELEMENT
 AND PEDESTRIAN CONNECTIONS
- B. IMPROVED LANDSCAPING
- C. EXPANDED AMENITY & PEOPLE

 SPACES
- D. REDEVELOPED MIXED-USE BUILDING
- E. INFILL RETAIL





- Several respondents noted that there is far more parking than needed, making the area feel empty and uninviting. There's strong interest in repurposing excess parking for more active or engaging uses.
- Residents are wary of simply adding new commercial space. They emphasize the need for more walkable, experience-driven destinations.
- People want to preserve the theater and value its independent, unique character. They see potential for it to anchor an arts or cultural hub.
- Many people want to "fix what's there" rather than pursue large-scale redevelopment. This includes maintaining banks, enhancing outdoor dining, improving aesthetics, and creating gathering spaces like plazas.

Northern Lemont Road



Commercial - Restaurant



Commercial Center



Mixed-Use Commercial



Large Mixed-Use Commercial



Rowhomes



Townhomes



Apartments



Large Apartment Development



Community Spaces



Woodward & Boughton Concept 1

- A. ROWHOME DEVELOPMENT
- **B. SMALL ROWHOME DEVELOPMENTS**
- C. NEW BOUTIQUE HOTEL 🗸
- D. NEW RETAIL \checkmark





Woodward & Boughton Concept 2

- A. ROWHOME DEVELOPMENT
- **B. SMALL ROWHOME DEVELOPMENTS**
- C. NEW SENIOR HOUSING
- D. NEW RETAIL 🗸





Woodward & Boughton Concept 3

- A. ROWHOME DEVELOPMENT
- **B. SMALL ROWHOME DEVELOPMENTS**
- C. NEW BOUTIQUE HOTEL
- D. NEW GROCER





- Residents **support senior housing**, especially to help older residents downsize while **staying in the community**. However, some questioned how much senior housing Woodridge truly needs long-term.
- While a few people are open to a **hotel**, others question whether the area has enough attractions or walkability to support one. If pursued, residents emphasized it should be **high-quality** and not negatively impact the neighborhood.
- Several commenters noted the location's existing **traffic congestion** and proximity to I-355 as **unsuitable for residential development**, especially for vulnerable populations like children or seniors.
- Respondents favored uses like grocery stores, medical offices, or recreational green space that meet real community needs.

Southern Lemont Road



Senior Housing



Small-Scale Commercial Uses



Mid-Size Commercial



Enhanced Walkability



Forest Preserve Connections



Detached Housing



OPLAN FRAMEWORK

- Six key community themes
- Developed in partnership with Village staff
- Themes are supported by goals, which will eventually lead to strategies and action steps









Diverse & Attainable Housing Options.





Thriving & Inclusive Economy.





Comprehensive Mobility for all Modes of Travel.





Distinct & Celebrated Village Identity.





High-Quality & Reliable Infrastructure.



Coordinated Land Use & Development.

GOALS	On a scale of 1 to 5, tell us if this should be a goal for the Village.	Which of these goals are your top priority?
Goal 1: Align development with market realities and community priorities.	3.9 probably	✓
Goal 2: Welcome new development while maintaining community character.	4.1 definitely	✓
Goal 3: Prioritize mixed-use, walkable development.	4.2 definitely	✓
Goal 4: Facilitate cohesive development within opportunity areas and along corridors.	3.9 probably	
Goal 5: Coordinate opportunity site planning to drive holistic community enhancement.	3.8 probably	



Diverse & Attainable Housing Options.

GOALS	On a scale of 1 to 5, tell us if this should be a goal for the Village.	Which of these goals are your top priority?
Goal 1: Preserve and strengthen existing neighborhoods and housing stock in Woodridge.	4.4 definitely	✓
Goal 2: Guide new housing to strategic locations and evolve land use to meet growing and changing community needs.	3.4 probably	✓
Goal 3: Expand housing choice and encourage context-sensitive density.	3.1 probably	
Goal 4: Preserve housing affordability through stability and reinvestment.	3.7 probably	



GOALS	On a scale of 1 to 5, tell us if this should be a goal for the Village.	Which of these goals are your top priority?
Goal 1: Retain successful commercial business while attracting new businesses through opportunities and incentives.	4.2 definitely	✓
Goal 2: Collaborate with regional stakeholders to align efforts and strengthen Woodridge's economic position.	4.1 definitely	✓
Goal 3: Deploy local investment tools to attract and catalyze development.	3.7 probably	
Goal 4: Enhance existing industrial zones to support existing businesses and promote clean, adaptable, and competitive employment centers.	3.6 probably	✓



Comprehensive Mobility for all Modes of Travel.

GOALS	On a scale of 1 to 5, tell us if this should be a goal for the Village.	Which of these goals are your top priority?
Goal 1: Promote and design safe and comfortable streets for all users including pedestrians, bicyclists, and motorists.	4.6 definitely	
Goal 2: Improve mobility infrastructure to support community success.	4.3 definitely	
Goal 3: Respond to evolving transportation needs and modernize your approach to mobility.	4.2 definitely	
Goal 4: Reduce transportation barriers for non-drivers.	4.1 definitely	
Goal 5: Strengthen Local and Regional Connectivity for All Modes of Travel.	4.1 definitely	
Goal 6: Expand and connect active transportation networks.	4.0 definitely	



GOALS	On a scale of 1 to 5, tell us if this should be a goal for the Village.	Which of these goals are your top priority?
Goal 1: Cultivate a distinctive Village identity rooted in community pride and expression.	4.0 definitely	✓
Goal 2: Elevate cultural and creative programming as part of daily life.	3.8 probably	
Goal 3: Strengthen Community Belonging Through Shared Traditions and Visual Cohesion.	4.0 definitely	
Goal 4: Activate the Civic Campus as a Cultural and Environmental Anchor.	3.7 probably	✓



High-Quality & Reliable Infrastructure.

GOALS	On a scale of 1 to 5, tell us if this should be a goal for the Village.	Which of these goals are your top priority?
Goal 1: Continue to maintain a good state-of-repair for existing infrastructure and ensure it has the capacity to accommodate new growth.	4.5 definitely	
Goal 2: Promote long-term water security and conservation.	4.5 definitely	✓
Goal 3: Build a resilient and sustainable infrastructure system.	4.5 definitely	✓
Goal 4: Maintain effective stormwater management.	4.5 definitely	✓

Next Steps

- 1. Opportunity Sites Edited & Finalized
- 2. Planning Framework Finalized
- 3. Phase 3 Plan writing and implementation

