



ROLLING MEADOWS PLANNING AND ZONING COMMISSION

Staff Memorandum

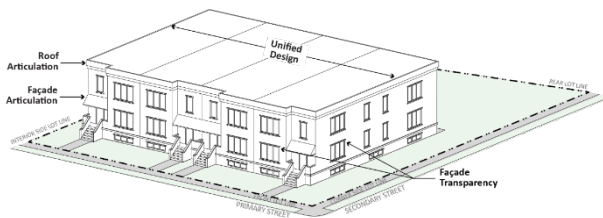
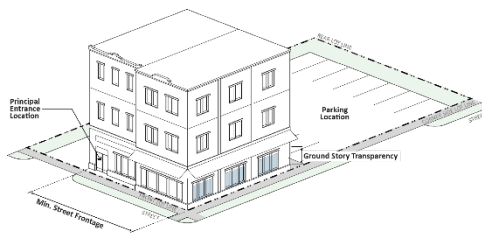
RE: Creation of the "TC" Town Center District

From: Glen Cole, Director of Community Development
Jordan Ellena, Deputy Director of Comm. Dev.
Rob Savage, Planner / Management Analyst

Date: February 21, 2025

The attached two Ordinances would create the new "TC" Town Center zoning district in order to take the first major step in implementing the recommendations of the pending Kirchoff Road Corridor Study. To summarize these briefly:

Text Amendment Ordinance: This Ordinance creates the new "TC" Town Center zoning district and associated bulk and design guidelines. This specific section of the Ordinance is included as an excerpt following this memorandum. The remainder of the Ordinance implements a number of items related to the "TC" Town Center zoning district and other technical items recommended by the Kirchoff Road Corridor Study.



TC Town Center District Regulations

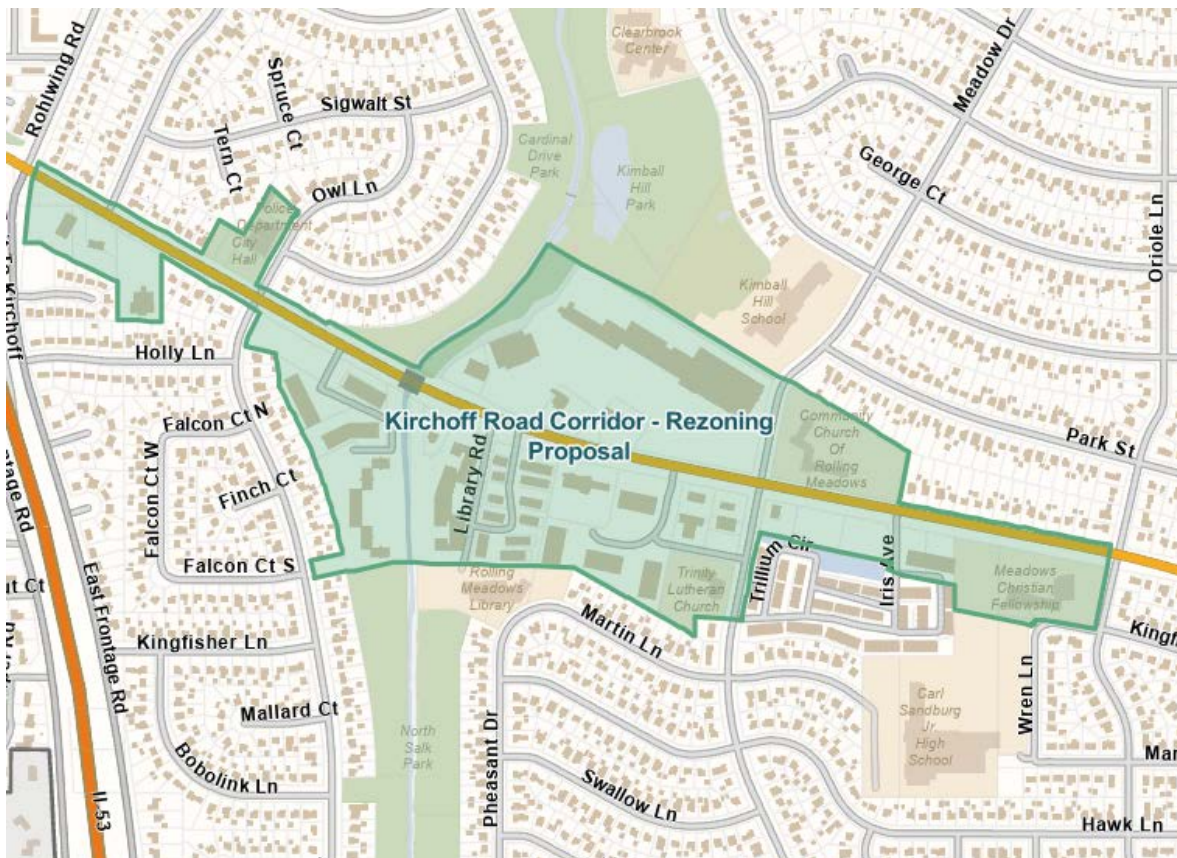
- **Bulk Regulations.** The draft TC regulations support a moderate intensity of development consistent with walkable town centers, with the primary consideration being a height limit between 28-70 feet and a requirement that buildings be built within a maximum (rather than minimum) distance of 10 feet from the lot line. Buffer yards would apply only when adjacent to residential zoning districts. The City's existing parking lot landscape rules, as well as MWRD's stormwater rules, provide for minimum green space in connection with these facilities.
- **Design Requirements.** Different types of development have design criteria that are simple, objective, and are applied by the Zoning Administrator in order to maximize predictability and efficiency. The TC District does not create an architecture review board or similar requirement. The design criteria are intended to promote a higher quality of development within the District and implement the visual preference component of the Kirchoff Road Corridor Study.
- **Parking.** No parking minimum would apply to commercial uses in order to allow market conditions to dictate the necessary parking requirements. For residential uses, a minimum of one parking space per dwelling would apply. Parking lots would be placed behind buildings to improve the pedestrian environment.

- **Signage.** Signage in the TC district generally follows the City's commercial signage rules, except that painted wall signs and roof signs would be permitted and cabinet wall signs would be prohibited in order to improve the aesthetics of the district. (Existing cabinet signs would be "grandfathered" and could be refaced.)

Other Changes to Zoning

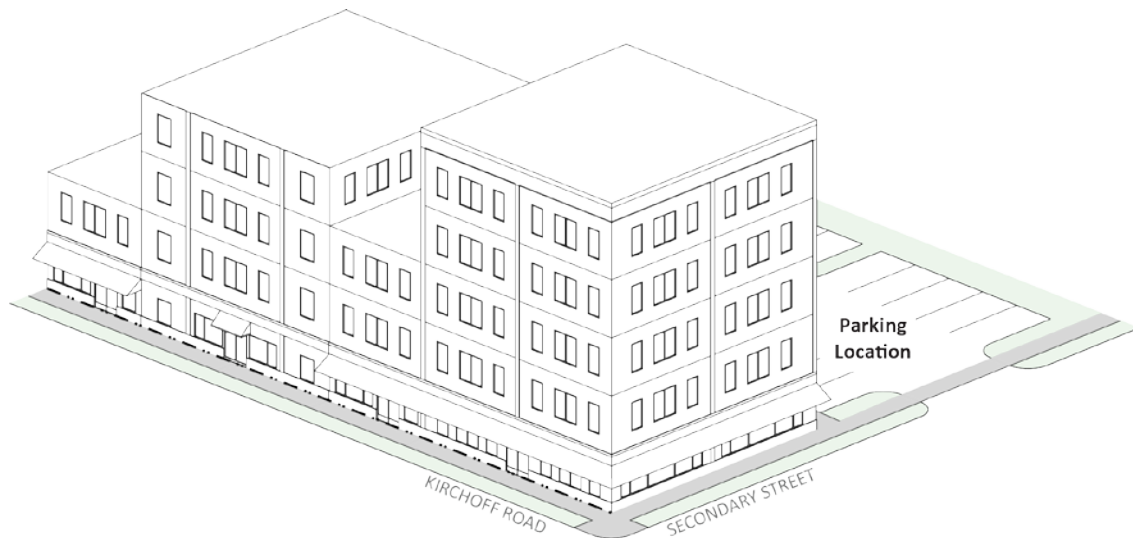
- **Changing the process and standards for planned developments.** For changes to existing planned developments, a mandatory pre-application meeting with the PZC would become optional. For all planned developments, deviations from the City's zoning regulations would require the creation of commensurate public benefits.
- **Regulating dollar stores.** Dollar stores would be categorized as a standalone use category and only permitted in the C-1 and C-2 districts. Each dollar store would need to be at least one mile from other dollar stores. (The existing dollar store on Kirchoff Road would be "grandfathered" as a legal non-conforming use.)
- **Multiple buildings on one lot.** Modern zoning codes often allow for this so long as the same setbacks between buildings are provided.

Map Amendment Ordinance: This Ordinance simply applies the new "TC" Town Center zoning district to property throughout the Kirchoff Road Corridor. It also, upon passage, terminates the Kirchoff Road Development Moratorium. The District's boundaries incorporate those components of the study area that would benefit from the TC District's development rules. Parcels such as schools and the Rolling Meadows Library remain in residential zoning districts given their frontage and context.



PROPOSED Sec. 122-274. - TC Town Center District.

Figure 5.9: Example Development Style in TC Town Center District

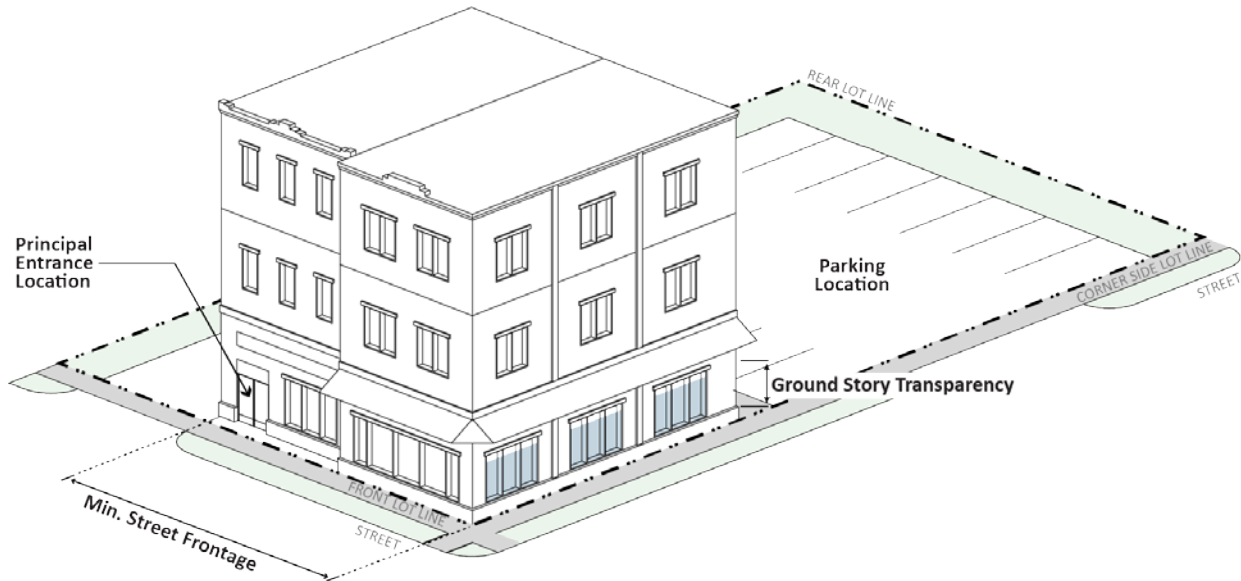


- (1) *Purpose:* The TC district is intended to accommodate pedestrian-oriented development that serves the City and surrounding communities. The TC district allows a wide range of commercial, residential, and institutional uses within the Town Center of Rolling Meadows.
- (2) *Permitted uses:* Permitted uses in the TC district are listed in Table 5.13.
- (3) *Special uses:* Special uses in the TC district are listed in Table 5.13.
- (4) *Planned developments.* The purpose of any planned development, existing or proposed, that lies partially or wholly within the TC Town Center District shall be deemed to include “more effective facilitation of pedestrian-oriented development that serves the City and surrounding communities in a manner consistent with the purpose and design requirements of the TC District.”
- (5) *Parking requirements.* Special parking requirements in the TC district are listed in article IV.
- (6) *Bulk space and yard regulations.* Bulk regulations in the TC district including regulations regarding lot area, lot width, yard areas, building coverage, and building height are listed in Table 5.1 and Table 5.11.

Table 5.11

TC Town Center District	
Minimum Lot Area (sq. ft.)	20,000
Minimum Lot Width at front yard line (ft.)	100
Maximum Front Yard Setback (ft.)	10
Minimum Side Yard Setback (ft.)	N/A, except 10 ft adjacent to a residential district
Minimum Rear Yard Setback (ft.)	N/A, except 20 ft adjacent to a residential district
Maximum Corner Side Yard (ft.)	10
Minimum Building Height	28 ft.
Maximum Building Height	70 ft.

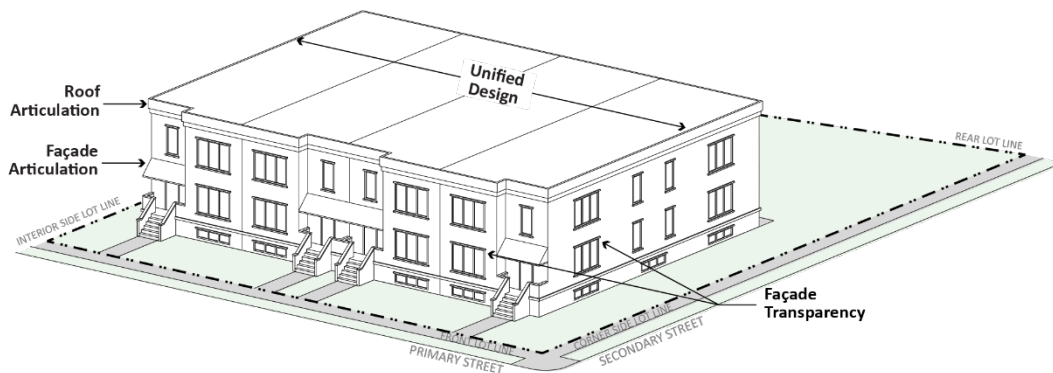
Figure 5.10: Design Requirements for Commercial and Mixed-Use Development



- (7) *Design requirements for commercial and mixed-use development.* The design requirements in this section apply to all new construction and significant exterior renovation of existing structures within the City's TC district. These design requirements shall be evaluated by the Zoning Administrator as part of the site plan review process set forth in Section 122-398, or else as part of the special use permit process where site plan review is not required. Refer to *Figure 5.10 Design Requirements for Commercial and Mixed-Use Development*.
- a. *Minimum street frontage.* 95 percent of a principal building must be located adjacent to a right-of-way in proportion to the total length of the lot line adjacent to the right-of-way.
 - b. *Parking location.* Off-street parking lots must be located in the rear yard.
 - c. *Principal entrance location.* The principal building entrance must be located on either the front or corner side façade.
 - d. *Defined base, middle, and top.* Buildings with three or more stories must be designed with a distinct base (ground story), middle, and top. The base of the building must be defined from the upper stories by a horizontal expression line, which is a decorative, three-dimensional linear element protruding or indented at least two inches from a building façade. The top of the building must be crowned with a similar expression line no less than six inches in width.
 - e. *Façade articulation.* For buildings with more than 50 feet of building width or depth, vertical architectural or structural elements must be incorporated along all street-facing façades and all façades facing waterways and natural or recreational areas at regular intervals to divide large, flat wall planes. Examples of such elements include texture change, material change, color change, or wall articulation, such as an offset, pilaster, column, reveal, or vertical expression line, of no less than six inches in length.
 - f. *Allowed building façade materials.* Durable and natural materials are allowed on any building façade, such as stone, brick, stucco, concrete, burnished concrete masonry units, fiber cement siding, treated wood siding, and non-reflective glass, unless otherwise limited by Section 122-274.(6).g (Limited building façade materials). Exterior façade walls shall incorporate not less than 50% masonry materials (stone, brick, stucco, and burnished concrete masonry units) along any frontage facing Kirchoff Road.

- g. *Limited building façade materials.* The following materials may only be utilized for trim or architectural details and must not exceed 20 percent of the total area of any building façade: utility brick, vinyl or metal siding, metal wall panels, exposed aggregate (rough finish) concrete wall panels, non-burnished concrete masonry units, exterior insulation and finishing systems (EIFS), fiberglass, plastic, and mirrored glass. The painting of brick, limestone, or other natural stone is prohibited so that such materials retain their natural colors.
- h. *Building details.* Pedestrian-scale elements are encouraged on any building façade fronting a public right-of-way, such as decorative lighting not more than nine feet in height, window planters, and awnings.
- i. *Minimum transparency.* Sixty percent of the total area of the street-facing ground story façades between two and eight feet above grade must have highly transparent, non-reflective glass. Tinted glass in excess of 20 percent is prohibited. Buildings larger than 30,000 square feet are exempt from these standards.
- j. *Roof design.* Green roof, white roof, and blue roof designs are encouraged.
- k. *Parking and vehicular access.* Cross-access connections are required to facilitate connections between adjacent parking lots. Shared parking agreements, pursuant to this Chapter, are encouraged. Driveways connecting to Kirchoff Road are to be minimized by number and width in order to improve traffic, parking, and pedestrian access. Corner lots with a Kirchoff Road frontage should connect their driveways to secondary streets whenever feasible.

Figure 5.11: Design Requirements for Multi-Family Dwellings and Single-Family Attached Dwellings



- (8) *Design requirements for multi-family dwellings and attached single-family dwellings.* The design requirements in this section apply to all new construction and significant exterior renovation of existing structures within the City's TC district. These design requirements shall be evaluated by the Zoning Administrator as part of the site plan review process set forth in Section 122-398, or else as part of the special use permit process where site plan review is not required. Refer to *Figure 5.11 Design Requirements for Multi-Family Dwellings and Single-Family Attached Dwellings*.
 - a. *Façade articulation.* To avoid the appearance of blank walls, facades facing the front yard, corner side yard, waterways, and natural or recreational areas must include façade articulation, such as entrances or other architectural features.
 - b. *Unified design.* Building façades must utilize consistent architectural forms, elements, materials, and colors that wrap around all façades of the building to provide a unified architectural design.

- c. *Building separation.* In developments with more than one building, there must be a minimum separation of 40 feet between two façades, except two side façades. There must be a minimum separation of 15 feet between two side façades. Walkways, driveways and parking areas may be located within the building separation areas.
- d. *Façade transparency.* At least one window is required on facades facing each required yard. Facades facing an interior side yard that include a garage do not have a façade transparency requirement.
- e. *Façade articulation.* Doors and windows must have frames with raised elements, such as jambs, entablatures, thresholds, and casings, to create articulation. Windows must be set back into or projected out from the façade to provide façade depth and shadow. Bay windows and balconies are encouraged to provide dimensional elements on a façade. Balconies must be inset or recessed into the building façade.
- f. *Roofs.* For flat roofs, the use of cornices and/or parapets is required to break up the roofline. For all other roofs: Sloped roofs must include eaves of at least six inches in width. Roof forms must be articulated so that varied planes and massing within the overall roof are provided. Large monotonous roofs and simple pitched roofs without breaks in the expanse of the roof are prohibited.
- g. *Number of dwelling units.* A townhouse structure may not have more than six dwelling units.
- h. *Parking and vehicular access.* Cross-access connections are required to facilitate connections between adjacent parking lots. Shared parking agreements, pursuant to this Chapter, are encouraged. Driveways connecting to Kirchoff Road are to be minimized by number and width in order to improve traffic, parking, and pedestrian access. Corner lots with a Kirchoff Road frontage should connect their driveways to secondary streets whenever feasible.