



Journey to — *Destination* WG

Welcome to the Community Workshop!

Thank you for being here to help define a community vision for the future of Webster Groves! Your feedback as a community member is critical to the development of the Comprehensive Plan and ensuring that it captures the future vision for WG.

We need your help! You know WG best. Explore the workshop exhibits to learn more about the City's existing conditions, future goals and strategies, and potential opportunities.

How to Participate:

1. Sign in and fill out a name tag.
2. Review and engage with the workshop exhibits.
3. The workshop exercises are also online, scan the QR code to take the survey and share the link with family, friends, and neighbors who couldn't make it!



Share Ideas!

Read the information that the planning team has gathered and engage in the exercises to share ideas!



Talk to Us!

We are here to talk to you and answer any questions! Ask us about the topics that matter most to you.

VISIT US AT

JourneytoWG.com

Project Overview

What is Journey to Destination WG?

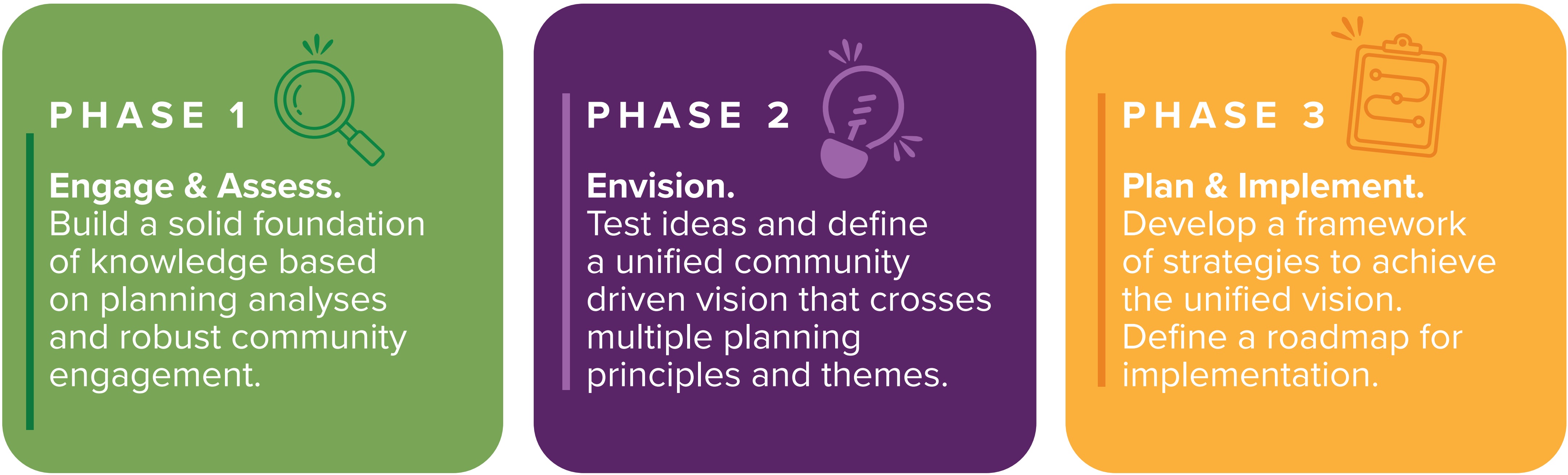
Webster Groves’ current Comprehensive Plan was completed in 1978 and now it’s time to embark on a new Journey to Destination WG - the City’s updated Comprehensive Plan.

The Webster Groves Comprehensive Plan will serve as a guiding document for growth and development, encompassing all facets of our community, from neighborhoods & housing to placemaking & the downtown districts, as well as economic vitality and sustainability. Our end goal is to establish a community-led vision for the future of Webster Groves.

Why is the Journey to Destination WG Plan important?

The Journey to Destination WG Comprehensive Plan is more than a document; it will stand as a testament to our commitment to sculpt a future that mirrors our collective vision. Together, we are laying the foundation for a Webster Groves that honors its past while charting a course toward an even more promising

What is the Timeline for this Project?



What is a Comprehensive Plan?

 Strategic Roadmap	 Guidance for Development	 Community Vision	 Policy & Direction	 Evolving Document
Outlines a dynamic long-term blueprint for the city’s future, spanning a timeframe of 10 to 20 years , and providing a guide for growth and development over the coming decades.	Informs City decisions on land use and zoning , ensuring that all future development aligns with the overarching goals and objectives set forth in the city’s long-term plans.	Captures public input, values, and goals , serving as a foundational element that shapes the city’s strategies and initiatives for the next 10 to 20 years, reflecting the aspirations of its residents .	Sets policies and direction, not specific development plans , but provides a strategic framework that guides the city’s decision-making processes and prioritizes long-term objectives.	Flexible to evolve with the community’s changing needs , the strategic roadmap allows for adjustments and adaptations over the 10 to 20 year span, ensuring relevance in a dynamic and ever-changing environment.



What we heard...

Voices of Webster Groves

Engagement Opportunities

Community engagement efforts aim to establish a baseline of quantitative and qualitative information regarding community needs and issues. Actively involving residents, business owners, community organizations, and other stakeholders ensures that the comprehensive plan reflects the community’s collective vision and addresses the unique challenges and opportunities within Webster Groves.

Destination Ambassadors
Project Brand and Website
LISTENING SESSIONS
WG Conversations
Summer Pop-Up Series
ONLINE SURVEY

WG Listening Sessions: Key Themes

Community feedback has been synthesized into the following key themes that highlight the community’s challenges, strengths, and opportunities:



WG Conversations and Survey: Key Suggestions

WG Conversations was a community engagement event held on May 1, 2024, at Webster University. Over 40 community members attended to share their thoughts on various topics related to the comprehensive plan. Additionally, a community survey was available on the project website to gather input from those unable to attend, with 254 community members participating in the survey. Key suggestions from each topical focus area are listed here.

HOUSING & NEIGHBORHOODS

- Develop a boutique hotel.
- Work with ministries and religious institutions to address affordable housing.
- Fill missing gaps in housing types for seniors, empty nesters, and first-time homebuyers.
- Better understand the community’s willingness to diversify the housing stock and identify the right locations.
- Fix the sidewalk gaps on the south side.

SUSTAINABILITY & CONSERVATION

- Improve local bus services and connectivity.
- Enhance walkability and bikeability, especially across I-44.
- Initiate city-sponsored composting programs.
- Develop year-round fitness opportunities.
- Create nature playscapes.
- Encourage health and wellness with parks and tree planting.
- Host events like “Taste of WG” to foster community spirit.
- Promote housing opportunities within WG for city staff, police, and fire department personnel.
- Reclaim streets for green or walkable spaces.

ECONOMIC VITALITY

- Create more micromobility options between commercial districts.
- Develop small-scale office and coworking spaces.
- Create a “design district.”
- Develop the Douglas Hill site.
- Diversify the retail mix with quality thrift and upscale resale, including children’s clothing.
- Renovate the Ozark Theatre.
- Make the arts a year-round part of the economy.
- Grow the culinary arts.
- Increase informal music and entertainment options.

BUSINESS DISTRICTS, PLACEMAKING, & IDENTITY

- Plan for the business community at Marshall and Summit Avenue.
- Introduce a gateway art installation to the new park.
- Improve safety at the I-44 overpasses for pedestrians and cyclists
- Better connect north and south Webster.
- Bring an amphitheater and dog park to the community.
- Improve sidewalk conditions in south Webster.
- Integrate art into the infrastructure.
- Create a plan for W. Pacific Avenue and Watson Road.

About the Framework

A Planning Framework serves as a blueprint or roadmap for achieving a Community’s vision for the future. The Journey to Destination WG Framework is organized around 7 Community Pillars. The planning team determined these Pillars through conversations and workshops with residents, businesses, city staff, and other important stakeholders. The team analyzed community feedback, taking note of Webster Groves’s needs, the community’s desires, and the city’s most beloved features. Each of the Community Pillars represents a key aspect of Webster Groves - a primary topic area - that will be supported and fostered by the Comprehensive Plan.



Webster Groves Community Pillars



Resilient Neighborhoods

- Housing Diversity
- Preserving Character
- Attainable Housing
- Accessible Neighborhoods



Economic Vitality

- Strengthen Tax Base
- Business Districts
- Commercial & Industrial



City of the Arts

- Arts & Culture
- Creative Economy
- Community Character & Identity



Quality of Life

- Parks & Green Spaces
- Community Events
- Preservation of Green Space



Operational Excellence & Collaborative Governance

- Regional Partnerships
- City Services
- Community Outreach
- Clarity in Review Process



Complete Streets for All

- Roadway Network
- Bicycle Infrastructure
- Pedestrian Linkages



Essential Systems

- Infrastructure & Utilities
- Stormwater Management
- Sustainability

Explore this Station!

This station is organized around the seven community pillars. Each pillar features two exhibits: one explaining ‘Why this is a pillar for Webster Groves’ and the other outlining key goals and strategies. We need your feedback on whether these goals and strategies align with your vision for Webster Groves’ future—and let us know if anything is missing!

➤ **How do you feel about this as a Planning Framework for Journey to Destination WG?** Use a post-it to share your thoughts.

PLACE POST IT HERE



Resilient Neighborhoods

PILLAR 1

Why is this a Pillar for Webster Groves?

Housing Profile

Webster Groves is known for its beautiful, high-quality homes, many of which are historic. The homeownership rate is very high at 81 percent, contributing to the stability of neighborhoods. While much of Webster Groves' housing stock is prized for its historic character, relatively little housing has been built since 1959. With few new units constructed, the city's population and property tax base are effectively capped.

Number of Webster Groves Households in 2020

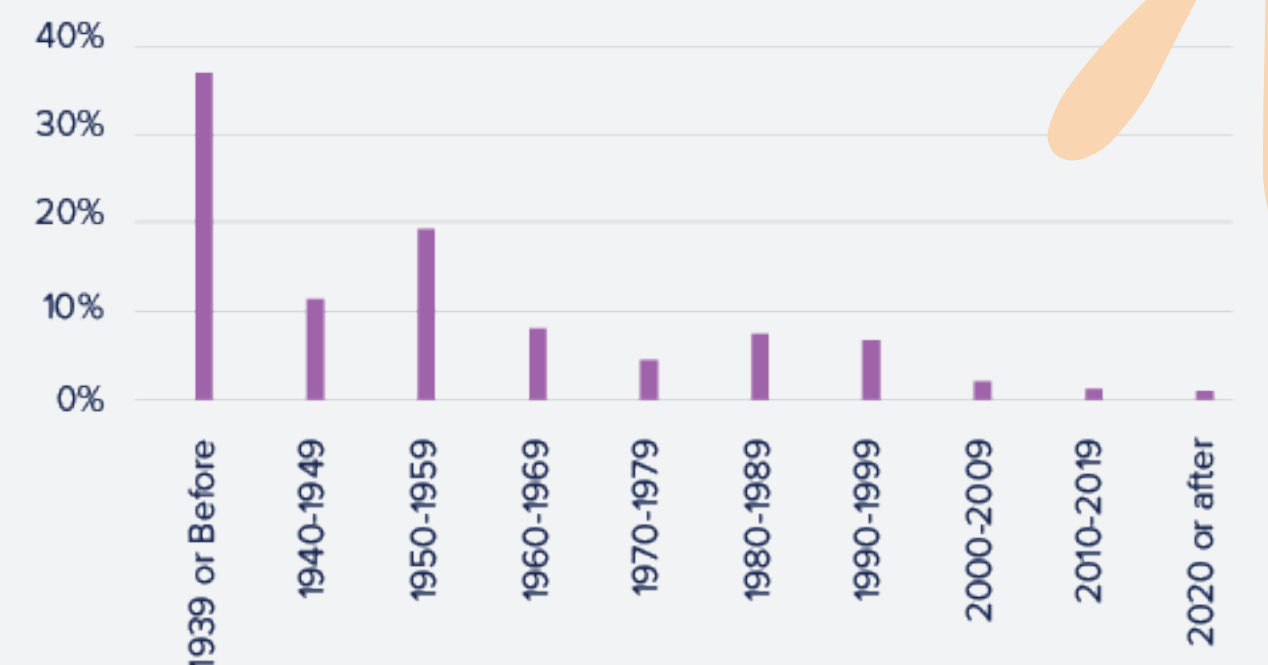
 **9,900**
HOUSEHOLDS 2020

Housing Tenure in 2020

81% **13%** **6%**
OWN **RENT** **VACANT**

High homeownership contributes to stability of neighborhoods, home maintenance, and the creation of social capital among residents.

Housing by Year Built

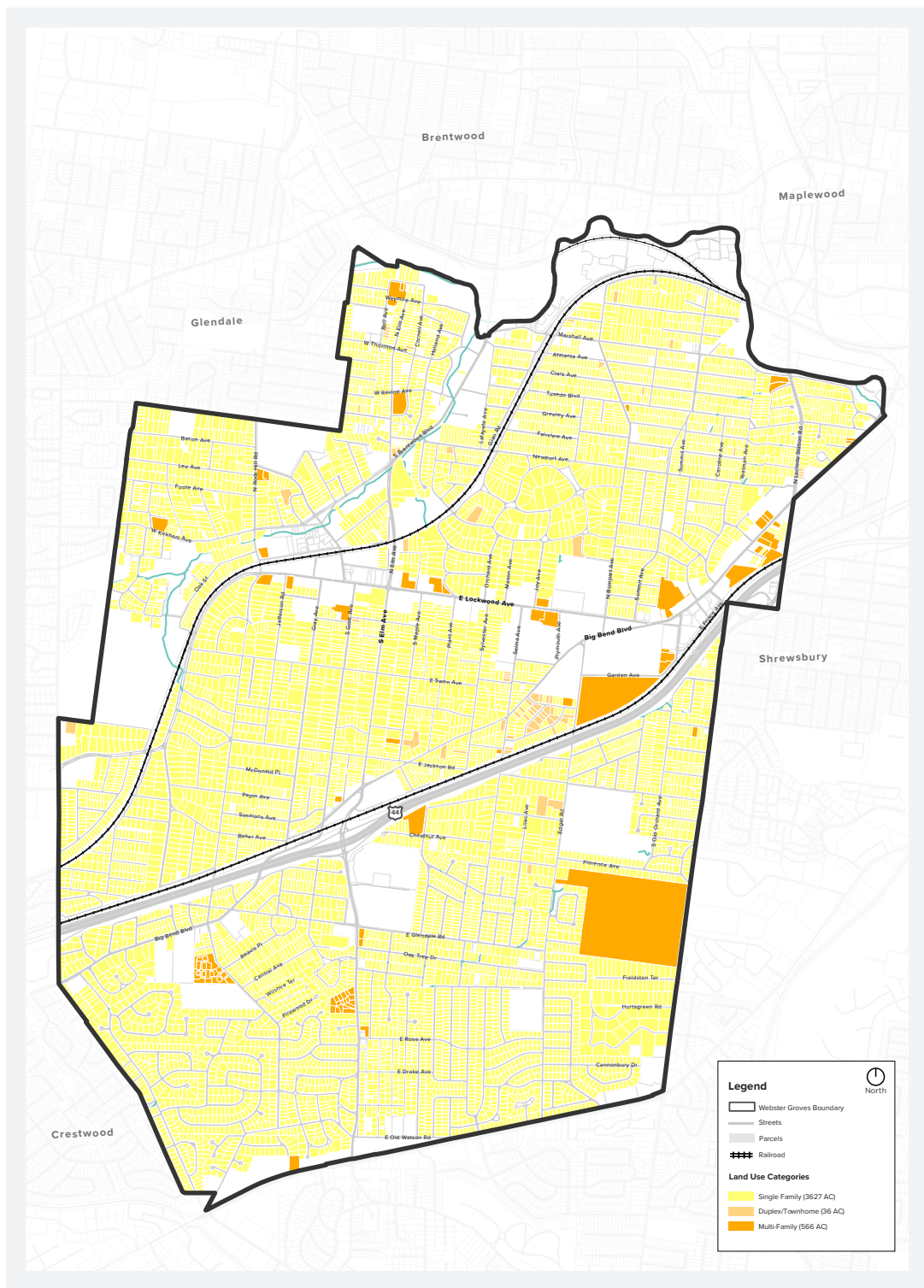


Little housing has been built since 1959. With few new units constructed, the city's population and property tax base are effectively capped.

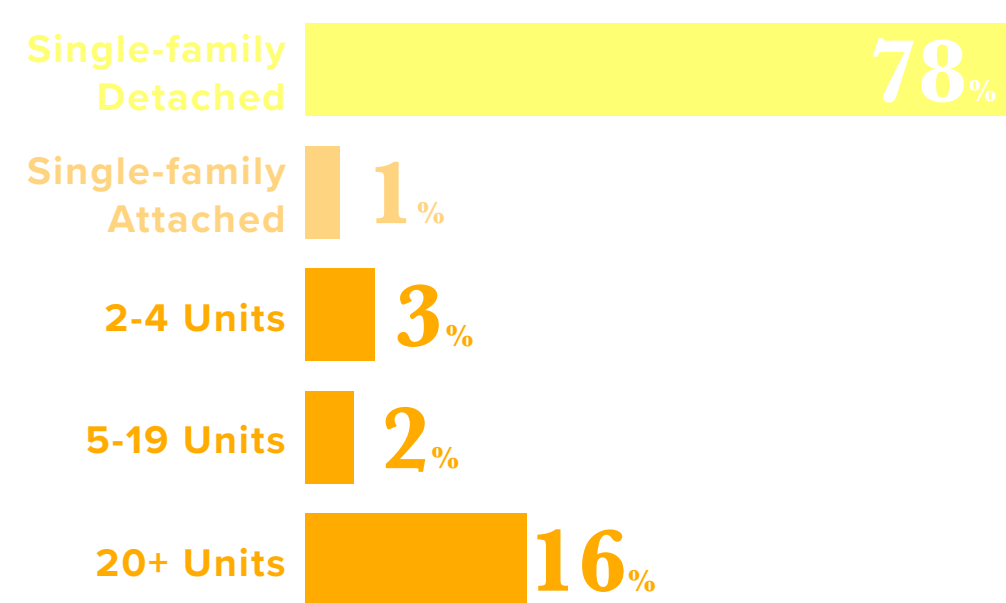
Housing Costs & Affordability

Housing in Webster Groves is marked by a lack of attainable options, particularly for middle-income workers and seniors. In North and South Webster, home values are lower, making housing more accessible, but rising demand for new, larger homes has led to an increase in teardowns. This imbalance limits housing availability across income levels. Middle-income workers struggle to find affordable homes, complicating recruitment for local employers. Meanwhile, seniors and empty-nesters face challenges downsizing due to a shortage of one-level homes. High mortgage rates since 2022 have exacerbated these issues, with low housing inventory and rising prices further straining the market. Development has also been slow, hindered by financing costs and limited space in the built-out community.

Residential Land Uses in Webster Groves



Housing Units by Number of Units in Structure



Housing is predominately single-family with minimal "missing middle" options, typical for suburban communities.

Multi-Family Housing in Webster



Webster Groves' multifamily housing inventory falls largely into six categories. Market-rate apartments and condominiums provide housing options for the general public, while the other housing types are restricted by age, income, or institutional affiliation.

Community Conversations

KEY HOUSING THEMES



Preserve the **character and identity** of Webster Groves, including its distinctive architecture, built environment, and design standards.

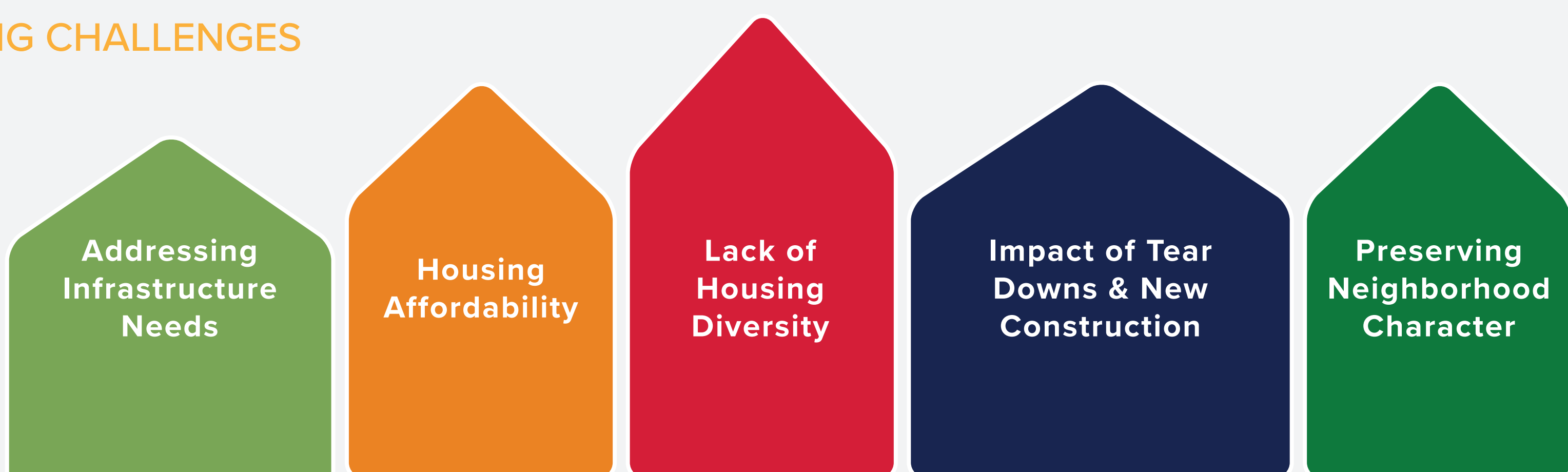


Ensure that there is **attainable and affordable housing** so that community members are able to continue living in Webster Groves.



Diversify housing types, especially "missing middle" options like townhomes, duplexes, and condos.

MAIN HOUSING CHALLENGES





Resilient Neighborhoods

PILLAR 1

What are YOUR Aspirations for Resilient Neighborhoods?

Below are the initial Goals and Strategies that the City of Webster Groves can take to support **Resilient Neighborhoods**. Please share your thoughts in the table below regarding whether these **reflect your vision** for the future, if you have **additional goals** in mind, and how we can create a **roadmap for implementation**.

Goals	Strategies	On a scale of 1 to 3, should this be a GOAL for Webster Groves? Add a sticker on the scale below.			Any actions come to mind to achieve these STRATEGIES? Use a post-it to share your thoughts below.
Goal 1: Expand and diversify housing options to meet the needs of downsizing residents, seniors wishing to remain in Webster Groves, and young families.	Strategy 1: Conduct a housing study for Webster Groves.	NOT AT ALL 1/3	NEUTRAL 2/3	DEFINITELY 3/3	
	Strategy 2: Review and modernize existing zoning, code, and permitting processes.				
	Strategy 3: Leverage development incentives to promote housing aligned with community priorities.				
	Strategy 4: Foster leadership and community engagement in housing diversification.				
Goal 2: Promote the development of attainable housing to ensure accessibility for a wider range of income levels, including the local workforce (e.g. teachers, firefighters, etc.).	Strategy 1: Require inclusion of price-accessible units in new residential developments.	NOT AT ALL 1/3	NEUTRAL 2/3	DEFINITELY 3/3	
	Strategy 2: Support homeowners with critical maintenance, home repairs, and upgrades, notably in North Webster.				
Goal 3: Preserve and enhance the distinctive character and charm of Webster Groves neighborhoods.	Strategy 1: Develop house pattern books and design guidelines for new construction and remodels.	NOT AT ALL 1/3	NEUTRAL 2/3	DEFINITELY 3/3	
	Strategy 2: Implement regulatory changes that discourage teardowns.				
Goal 4: Maintain North and South Webster as accessible and diverse neighborhoods within the city.	Strategy 1: Develop neighborhood plans for North and South Webster.	NOT AT ALL 1/3	NEUTRAL 2/3	DEFINITELY 3/3	
	Strategy 2: Incentivize housing maintenance preservation.				



Are there any other high level goals you think would support **RESILIENT NEIGHBORHOODS** in Webster Groves? Use a post-it to share your thoughts.

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Economic Vitality

PILLAR 2

Why is this a Pillar for Webster Groves?

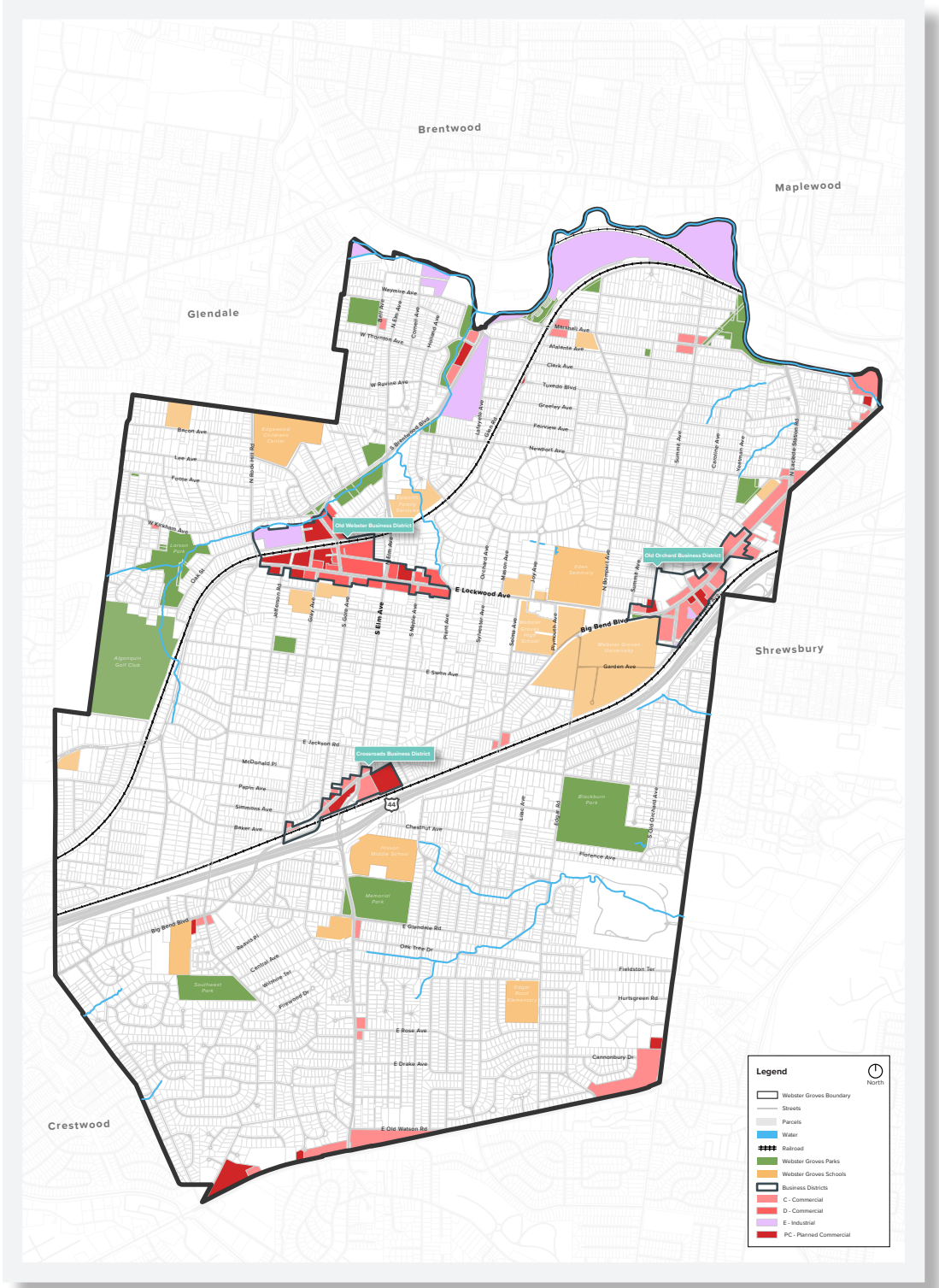
The city’s three vibrant business districts, industrial areas, and key commercial corridors are essential to Webster Groves identity and long-term growth. As a predominantly residential community, **fostering economic vitality** is crucial to strengthening the tax base, ensuring the continued success of the business districts, and supporting the introduction of new mixed-use developments that enhance both livability and economic sustainability.

Market & Economic Base

The consumer market in Webster Groves is robust, largely due to high household incomes. However, despite this strength, much of the potential spending on retail goods and services is believed to occur outside the city.

CATEGORY	TOTAL SPENDING	AVERAGE PER HH	SPI
Apparel & Services	\$29,896,733	\$3,210	146
Education	\$27,347,714	\$2,937	164
Entertainment/ Recreation	\$52,365,923	\$5,623	149
Food at Home	\$91,452,773	\$9,820	144
Food Away from Home	\$50,462,081	\$5,418	146
Health Care	\$100,965,158	\$10,841	147
Household Furnishings & Equipment	\$41,208,095	\$4,425	150
Personal Care Products & Services	\$13,429,584	\$1,442	151
Vehicle Maintenance & Repairs	\$17,601,596	\$1,890	144

Commercial & Industrial Zoning Districts Map



Business Districts

The city features three main historic commercial centers each with its own distinct character.



Old Webster

The largest of the districts, functioning as a traditional downtown contains a mix of retail, dining, service, and institutional/religious uses with regional destinations. This district has seen more retail and office infill development than the other two districts.



Old Orchard

Center of restaurant dining, upscale bars, boutique food businesses, and boutique apparel and other retail. Old Orchard is now a destination, though traffic speeds and urban design are an issue. Also unusual is the functionality of rear parking lots, which shoppers often resist using.



Crossroads

The smallest of the three centers. It has historically experienced a higher vacancy level than the other districts, but today hosts several popular food businesses, medical offices, offices of creative professionals, and fitness businesses.

Industrial Areas

Webster Groves hosts a small number of industrial zones, primarily in three locations: the Owen Ridge industrial park, an industrial zone at Pacific and Rock Hill Roads, and a third along Brentwood Blvd.



Owen Ridge Industrial Park



Pacific Avenue



Brentwood Boulevard

Community Conversations

KEY ECONOMIC VITALITY THEMES

BUSINESS DEVELOPMENT

Residents value the mom-and-pop character of Webster Groves but find local shopping expensive, expressing interest in diversifying the economy with more office space, a boutique hotel, and workforce-accessible housing.

BUILT ENVIRONMENT

Participants highlighted the aesthetic benefits and walkability of Webster’s “barbell” business district layout but want improved connectivity and more micromobility options between the areas.

ARTS

Expanding the arts and creative economy is seen as an important opportunity for strengthening Webster’s economic identity.

What types of retail stores, services, or businesses do you feel are currently **missing** in Webster Groves?

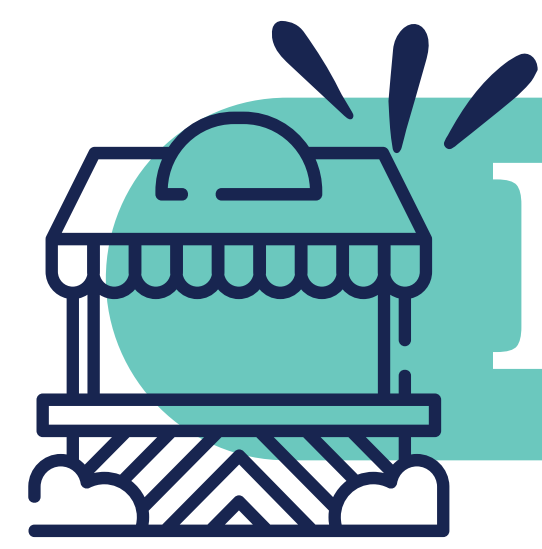


What would you like to see **more** of in our community?

Most respondents felt they can do their grocery shopping and dining in the city **but have to leave for big-box shops and more affordable, family-friendly options**, although they don’t necessarily wish to see the big-box stores in Webster.

Respondents expressed a preference for **maintaining a balance of unique local businesses without introducing big box stores**, while also noting the need for some practical amenities and affordable retail options.

Supporting local businesses and enjoying a vibrant community atmosphere were common responses for staying in Webster for most shopping, dining, and entertainment.



Economic Vitality

What are YOUR Aspirations for Economic Vitality?

Below are the initial Goals and Strategies that the City of Webster Groves can take to support **Economic Vitality**. Please share your thoughts in the table below regarding whether these **reflect your vision** for the future, if you have **additional goals** in mind, and how we can create a **roadmap for implementation**.

Goals	Strategies	On a scale of 1 to 3, should this be a GOAL for Webster Groves? Add a sticker on the scale below.			Any actions come to mind to achieve these STRATEGIES? Use a post-it to share your thoughts below.
Goal 1: Maintain and manage traditional business districts for long-term vibrancy.	Strategy 1: Establish a commercial district management program for active promotion and administration of the three districts.	NOT AT ALL 1/3	NEUTRAL 2/3	DEFINITELY 3/3	
	Strategy 2: Reimagine the potential for a greater mix of uses in the three commercial districts.				
	Strategy 3: Maintain the focus on independent businesses in the three districts, which has served to set them apart from other shopping venues.				
Goal 2: Promote retail and mixed-use development along key commercial corridors, in existing shopping centers, and on underutilized sites within the business districts.	Strategy 1: Encourage and incentivize mixed-use development in strategic locations.	NOT AT ALL 1/3	NEUTRAL 2/3	DEFINITELY 3/3	
	Strategy 2: Explore the use of form-based codes.				
	Strategy 3: Partner with Webster University on a long-range plan to rethink the Old Orchard Center.				
Goal 3: Strengthen Webster Groves' economy and tax base.	Strategy 1: Grow the city's commercial and retail uses.	NOT AT ALL 1/3	NEUTRAL 2/3	DEFINITELY 3/3	
	Strategy 2: Grow the city's industrial sector.				
	Strategy 3: Develop for-sale and for-rent multi-family housing to grow the taxable residential base.				

➤ Are there any other high level goals you think would support ECONOMIC VITALITY in Webster Groves?
Use a post-it to share your thoughts.

PLACE POST IT HERE





City of the Arts

PILLAR 3

Why is this a Pillar for Webster Groves?

Webster Groves proudly embraces its **identity as the “City of the Arts,”** and continuing to cultivate this identity will involve thinking beyond the traditional visual and performing arts to growing unique businesses, supporting creative public-space interventions, fostering quality architecture, and supporting other creative endeavors that contribute to the city’s vibrancy.

Creative Economy

Recent restaurant developments and an expanding boutique retail scene, particularly in the Old Webster and Old Orchard districts, have made Webster Groves’ business districts popular destinations for diners and shoppers from outside the city. Independent businesses are highly valued as part of Webster Groves’ identity, and creative, committed local developers and small-business entrepreneurs have contributed to this success.



Arts & Culture Assets

Webster Groves provides residents and visitors numerous opportunities to experience and engage with artistic and cultural attractions. The city boasts acclaimed theater companies, art galleries, music and dance organizations, and regularly hosts outdoor festivals and concerts celebrating art and music throughout the year.



Community Conversations

CULTURE & IDENTITY

Community members view the arts as an integral part of Webster’s identity but believe it could be further strengthened by incorporating more art into the built environment and offering more support for local artists and art organizations. Stakeholders expressed a strong desire to enhance public art, utilize existing cultural and historical assets, form partnerships with local institutions, organize more community events, and improve public spaces. Ideas included:



Create **murals** by local artists or with the school district.



Bring attention to the existing landmarks, cultural assets, and historical buildings through **signage, organized art, and culture walks.**



Partner with local institutions like Webster University, the Opera Theater, and others to expand the community’s cultural assets.



Expand the **events and festivals** offered in the community.



Diversify the arts community to **emphasize the diverse background** of local artists and their history.



Integrate art into the infrastructure through **public art and improved streetscapes.**



City of the Arts

PILLAR 3

What are YOUR Aspirations for City of the Arts?

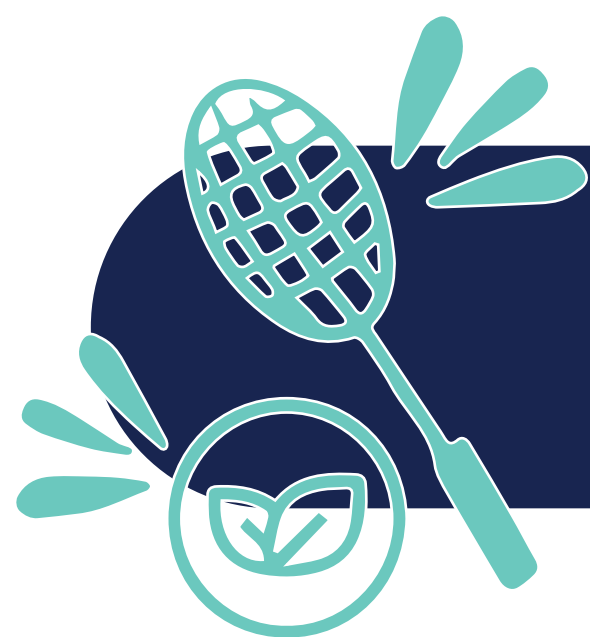
Below are the initial Goals and Strategies that the City of Webster Groves can take to support **City of the Arts**. Please share your thoughts in the table below regarding whether these **reflect your vision** for the future, if you have **additional goals** in mind, and how we can create a **roadmap for implementation**.

Goals	Strategies	On a scale of 1 to 3, should this be a GOAL for Webster Groves? Add a sticker on the scale below.			Any actions come to mind to achieve these STRATEGIES? Use a post-it to share your thoughts below.
Goal 1: Expand the creative economy.	Strategy 1: Attract creative businesses.	NOT AT ALL 1/3	NEUTRAL 2/3	DEFINITELY 3/3	
	Strategy 2: Support creative businesses.				
Goal 2: Support and expand creativity in public spaces.	Strategy 1: Design places for people and art.	NOT AT ALL 1/3	NEUTRAL 2/3	DEFINITELY 3/3	
	Strategy 2: Surprise and delight through unexpected temporary public space interventions.				
Goal 3: Champion historic preservation and quality new architecture throughout the city.	Strategy 1: Continue to preserve and protect the city's historic neighborhoods and commercial districts.	NOT AT ALL 1/3	NEUTRAL 2/3	DEFINITELY 3/3	
	Strategy 2: Set a standard of excellence for new architectural design in the city.				
Goal 4: Build on Webster's reputation for creative public events.	Strategy 1: Expand Webster's calendar of creative events.	NOT AT ALL 1/3	NEUTRAL 2/3	DEFINITELY 3/3	
	Strategy 2: Collaborate with local and regional organizations to expand the City's cultural offerings.				

➤ Are there any other high level goals you think would support CITY OF THE ARTS in Webster Groves? Use a post-it to share your thoughts.

PLACE POST IT HERE





Quality of Life

PILLAR 4

Why is this a Pillar for Webster Groves?

Webster Groves **prioritizes high quality of life** for resident, businesses, and institutions. The elements that foster quality of life include the park and green space network, community events, and togetherness as well as the preservation of natural features in cultivating environmental awareness.

Parks & Green Spaces

Webster Groves' boasts an extensive and well-maintained network of parks and open spaces that provide a wide range of recreational opportunities, including trails, sports fields, playgrounds, and passive open spaces for leisure. This system is one of the city's key assets, promoting physical activity and overall wellness for its residents.



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Webster Groves has a fantastic parks system and each neighborhood has access to a park and/or green space.

Parkland per 1,000 Residents

National Parks and Recreation Association (NRPA) recommends municipalities aim to provide 10 acres of parkland for every 1,000 residents. With Webster's current population of 24,010 it is recommended to have 240 acres of park space.

120

Acres of Open Space 2024

-120

Deficit in Acres of Open Space

Residents Access to Recreation

Overall 58 percent (13,948 residents) of Webster's population have access to one or more recreation areas within walking distance of their homes and 99 percent (23,661 residents) of residents have access within a mile of their homes.

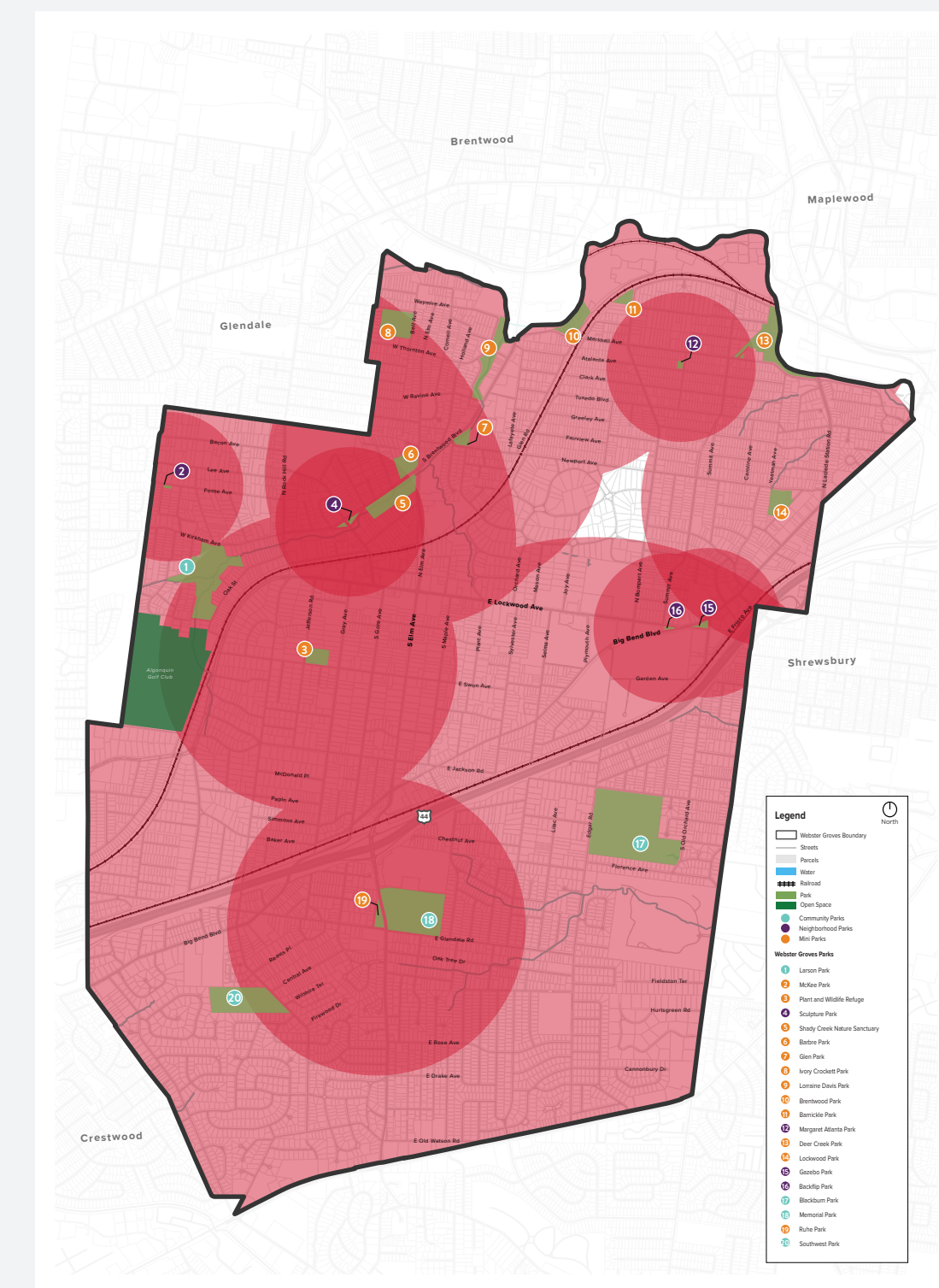
58%

CAN WALK TO A PARK

99%

CAN DRIVE TO A PARK

Parks & Green Space Level of Service Analysis



Community Events

Numerous other community events occur throughout the calendar year from Fourth of July celebrations to Porch Concerts and Walktober Fest. Webster Groves' events foster a sense of place and creating places and events for social interaction is critical for Webster's quality of life to remain high-quality.

Webster Art Fair

The first weekend in June, Webster Arts hosts a juried art show on the Eden Seminary campus with live music, food, artists, and activities.

Old Webster Jazz Fest

This summer music festival features two stages of musical performances in the heart of Old Webster bringing locals and visitors to the streets.

Old Orchard Gazebo Series

During select Friday evenings in the summer an outdoor concert and movies series occurs at Gazebo Park in the Old Orchard Business District.



Community Conversations

KEY PARKS & RECREATION THEMES



PROMOTION OF PHYSICAL ACTIVITY & WELLNESS

The community values parks and recreational facilities for promoting wellness and seeks improved maintenance and safety of walking paths, biking trails, and exercise areas.



COMMUNITY GATHERING SPACES

Parks are seen as essential for socializing and events, with residents desiring outdoor amphitheaters, performance spaces, and more opportunities for community gatherings.



ENHANCED FACILITIES & AMENITIES

Residents request new amenities like shaded playgrounds, splash pads, and dog parks, emphasizing maintenance of existing facilities over building similar new ones.



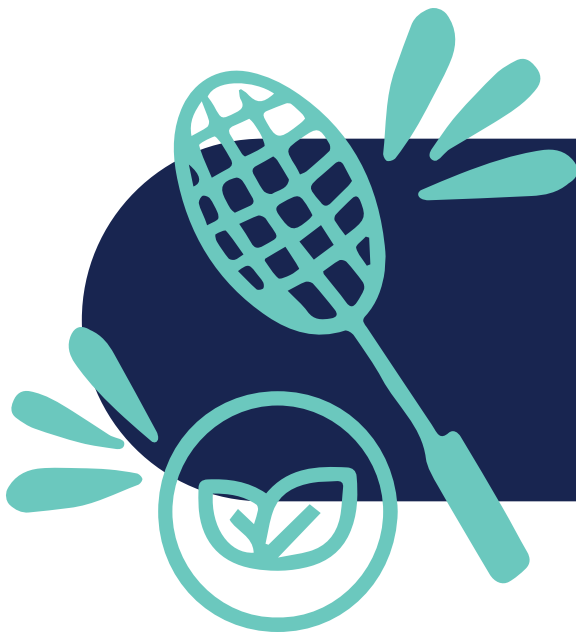
ACCESSIBILITY & INCLUSIVITY

The community stresses the need for parks to be accessible to people with disabilities and seniors, with inclusive programming and affordable recreational options.



ENVIRONMENTAL CONSIDERATIONS

Residents prioritize environmental sustainability, advocating for the preservation of green spaces, native plantings, and eco-friendly features like community gardens and composting.



Quality of Life

What are YOUR Aspirations for Quality of Life?

Below are the initial Goals and Strategies that the City of Webster Groves can take to support **Quality of Life**. Please share your thoughts in the table below regarding whether these **reflect your vision** for the future, if you have **additional goals** in mind, and how we can create a **roadmap for implementation**.

Goals	Strategies	On a scale of 1 to 3, should this be a GOAL for Webster Groves? Add a sticker on the scale below.			Any actions come to mind to achieve these STRATEGIES? Use a post-it to share your thoughts below.
Goal 1: Ensure that all residents have a park or green space within a safe and comfortable walking distance from their homes.	Strategy 1: Enhance and modernize existing parks and green spaces.	NOT AT ALL 1/3	NEUTRAL 2/3	DEFINITELY 3/3	
	Strategy 2: Expand green space access, particularly in South Webster.				
	Strategy 3: Build community partnerships to grow and sustain the green space network.				
	Strategy 4: Create an interconnected network of green spaces, pedestrian paths, and bike lanes that connects community assets.				
Goal 2: Design spaces that foster opportunities for social interaction and community connection .	Strategy 1: Create inviting gathering spaces in key community hubs.	NOT AT ALL 1/3	NEUTRAL 2/3	DEFINITELY 3/3	
	Strategy 2: Host regular, inclusive community events in public spaces.				
	Strategy 3: Expand and diversify public and recreational programming.				
	Strategy 4: Develop inclusive, community-oriented spaces that are accessible to all members of the community.				
Goal 3: Preserve green spaces and natural areas for long-term environmental sustainability.	Strategy 1: Explore opportunities for native planting, stormwater management, and wildlife habitats in public spaces.	NOT AT ALL 1/3	NEUTRAL 2/3	DEFINITELY 3/3	
	Strategy 2: Expand environmental education and engagement efforts.				
	Strategy 3: Preserve and grow the urban tree canopy.				

➤ Are there any other high level goals you think would support **QUALITY OF LIFE** in Webster Groves? Use a post-it to share your thoughts.

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Operational Excellence

PILLAR 5

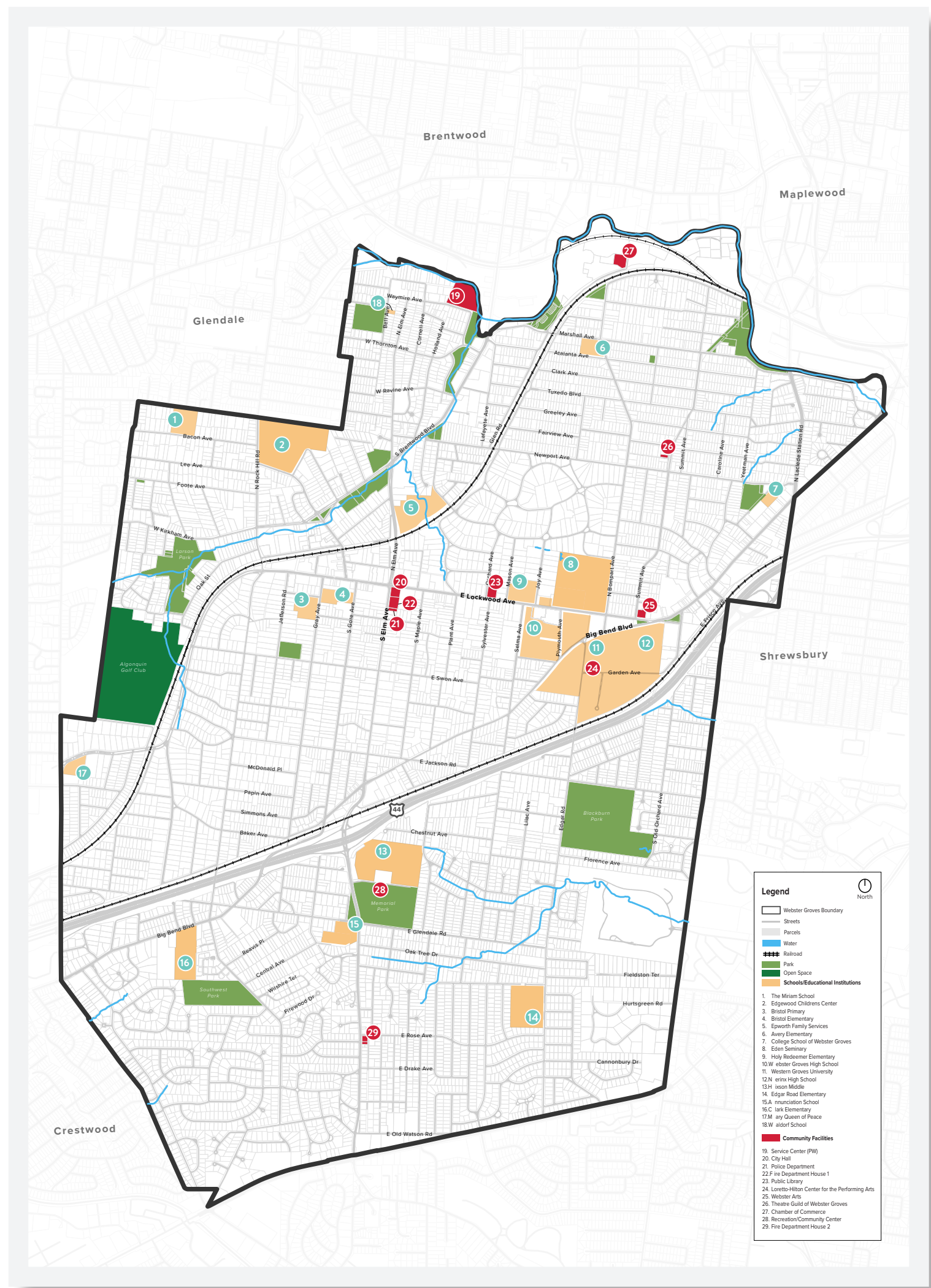
Why is this a Pillar for Webster Groves?

The city's strong sense of community, high quality of life, and appreciation for local services create a solid foundation for **operational excellence and collaborative governance**. By partnering with neighboring municipalities, enhancing responsiveness to evolving community needs, fostering greater public engagement and education, and ensuring regulatory consistency and predictability, Webster Groves can establish itself as a regional leader in excellence.

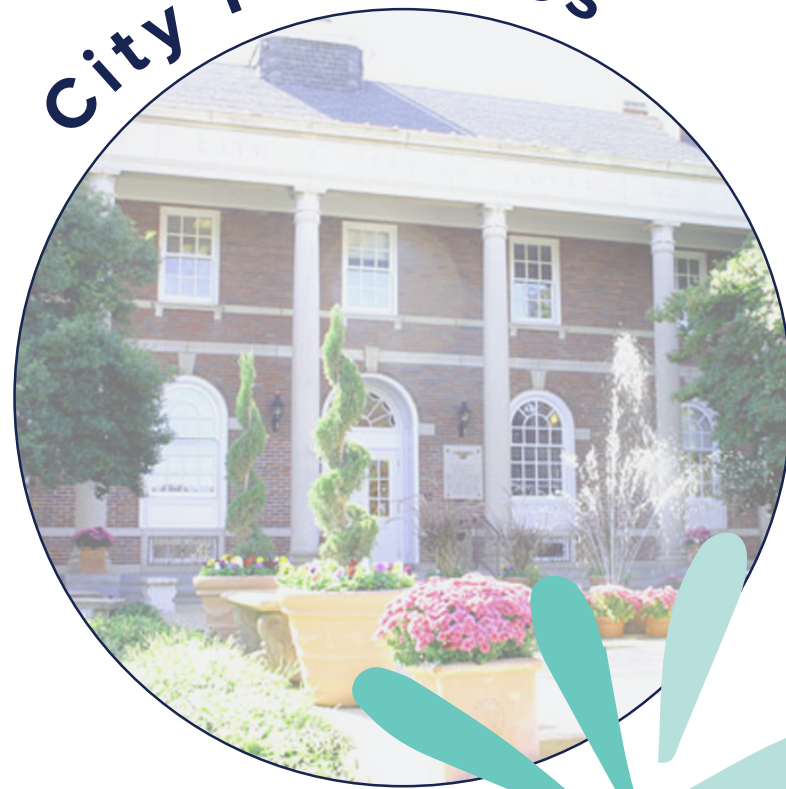
Community Facilities & Services

Webster Groves is known for its well-maintained parks, strong public safety services, excellent education system, arts and culture offerings, and high-quality amenities that enhance the community's overall quality of life.

Facilities & Services Map



City Facilities



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Public schools, Webster University and Eden Seminary, trees, diversity of housing looks, arts institutions, great and varied restaurants, many walkable neighborhoods are Webster's best assets.

Chamber of Commerce



Religious Institutions



Education



Supportive Services



Arts & Culture

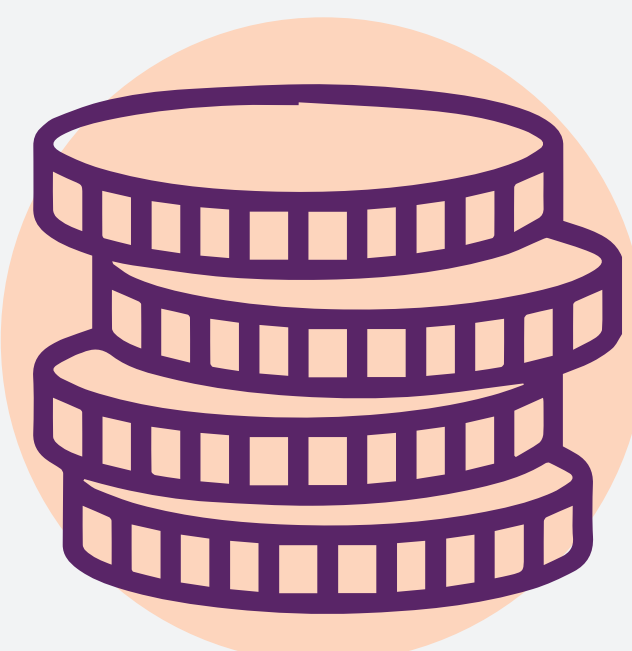


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Currently, the tax burden for maintaining amenities and services falls too heavily on residents through property taxes, making it unsustainable and affecting affordability.

Community Conversations

KEY GOVERNMENT EFFICIENCY THEMES



TAX BASE

Webster Groves benefits from a pooled sales tax, allowing it to maintain its local commercial identity, but stakeholders are concerned about the limited tax base and seek ways to increase population and revenue without sacrificing the city's character.



REGIONAL COLLABORATION

Webster Groves, as a desirable place to live and work, can lead the region in resource-sharing efforts, including sustainability, shared services, and addressing stormwater and roadway systems as part of a broader regional approach.



CITY STAFF & PROCESS INVOLVEMENT

Funding and staffing challenges have hindered operational efficiency, particularly in parks, infrastructure, and police services, prompting a need for regulatory consistency, streamlined permitting, and collaborative partnerships with developers to support sustainable growth.



Operational Excellence

PILLAR 5

What are YOUR Aspirations for Operational Excellence?

Below are the initial Goals and Strategies that the City of Webster Groves can take to support **Operational Excellence & Collaborative Governance**. Please share your thoughts in the table below regarding whether these **reflect your vision** for the future, if you have **additional goals** in mind, and how we can create a **roadmap for implementation**.

Goals	Strategies	On a scale of 1 to 3, should this be a GOAL for Webster Groves? Add a sticker on the scale below.			Any actions come to mind to achieve these STRATEGIES? Use a post-it to share your thoughts below.
Goal 1: Strengthen regional partnerships to improve service coordination and expand amenities.	Strategy 1: Collaborate with neighboring municipalities to identify opportunities for sharing services.	NOT AT ALL 1/3	NEUTRAL 2/3	DEFINITELY 3/3	
	Strategy 2: Leverage regional resources to expand access to amenities.				
	Strategy 3: Create joint task forces with regional partners to address common challenges.				
Goal 2: Invest in city services to maintain and elevate service standards, ensuring efficient, high-quality support for residents, businesses, and institutions.	Strategy 1: Attract, develop, and retain high-quality staff.	NOT AT ALL 1/3	NEUTRAL 2/3	DEFINITELY 3/3	
	Strategy 2: Renovate and modernize facilities to meet contemporary standards.				
Goal 3: Continuously evaluate and communicate emerging community issues with residents, businesses, and institutions.	Strategy 1: Create consistent, accessible channels for community input and dialogue.	NOT AT ALL 1/3	NEUTRAL 2/3	DEFINITELY 3/3	
	Strategy 2: Provide educational workshops and forums on emerging issues.				
Goal 4: Streamline the public review and entitlement process to encourage both public and private reinvestment.	Strategy 1: Simplify and clarify the review process with comprehensive resources.	NOT AT ALL 1/3	NEUTRAL 2/3	DEFINITELY 3/3	
	Strategy 2: Enhance transparency and communication in the entitlement process.				
	Strategy 3: Offer pre-application consultations and fast-track options.				



Are there any other high level goals you think would support OPERATIONAL EXCELLENCE in Webster Groves?
Use a post-it to share your thoughts.

PLACE POST IT HERE





Complete Streets for All

PILLAR 6

Why is this a Pillar for Webster Groves?

Webster Groves residents and visitors benefit from a well-connected transportation network, regional accessibility, and a variety of pedestrian-friendly sidewalks and trails that enrich daily life. Walkability is a fundamental aspect of the Webster Groves lifestyle, cherished by the community. Advancing **Complete Streets for All** will reinforce this core value, ensuring safe, inclusive, and accessible streets for everyone.

Roadway Network

Because nearly all roads in Webster Groves are owned and maintained by the city, local officials have ample control to make meaningful safety improvements on most Webster Groves roads. That said, county-controlled roads experience some of the highest collision rates resulting in injury and to implement safety improvements the city needs to be proactive in planning and coordinating with external agencies.

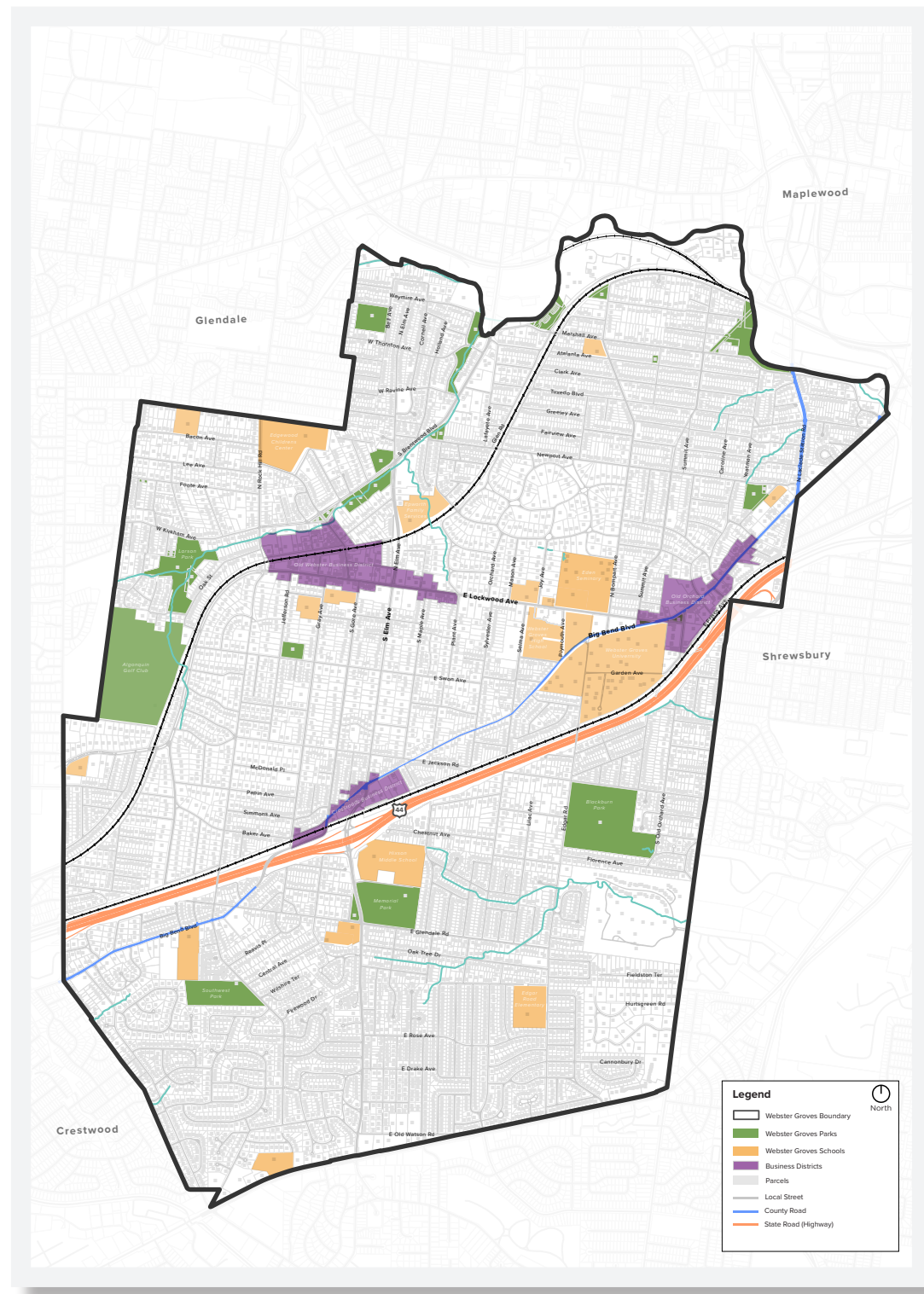
2023 WG Crash Data

STREET	JURISDICTION	2023 INJURIES
Big Bend Boulevard	County	26
Elm Avenue	Local	20
Laclede Station Road	County	19
Murdoch Avenue	Local	8
Lockwood Avenue	Local	6

Non-Motorized Transportation

Webster Groves boasts a growing bikeway and trail network, seamlessly integrated into neighborhood parks and featuring low-stress, shared bike routes on local roads. While the city benefits from access to the regional bicycle and trail network, safe access to these amenities and other key destinations remains challenging, especially from underserved neighborhoods, business districts, and residential areas. Many of the city's residential and commercial streets, with their historic design, are well-scaled for pedestrians, making walking a pleasant experience. However, gaps in sidewalk continuity and areas with outdated pedestrian infrastructure still need improvement.

Roadway Jurisdiction Map



Cycling Infrastructure Mileage

3.5
DEER CREEK
GREENWAY

2
MILES IN
PARKS

11
GRANT'S
TRAIL

Pedestrian Infrastructure

119
MILES OF
ROADWAY

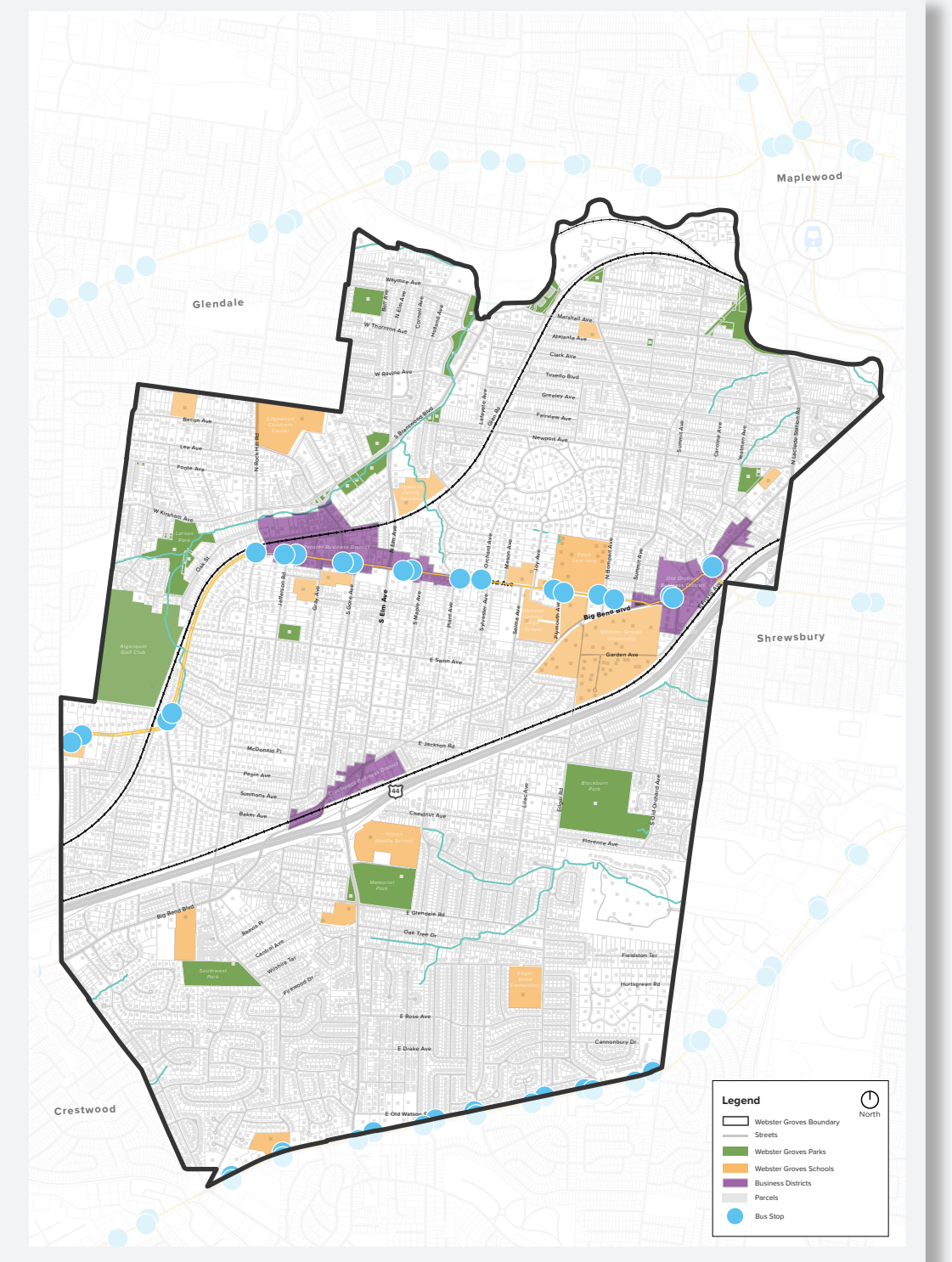
8
MILES OF GAPS
IN SIDEWALKS

Although this represents a small percent, filling these gaps would significantly enhance walkability and connectivity.

Public Transit

Public transportation in Webster Groves is provided by Metro Transit St. Louis. Route 56 Kirkwood-Webster, the city's only bus route, connects to the broader St. Louis metropolitan area. Despite serving a large portion of the community, there are concerns about unreliable schedules hindering accessibility for riders.

Public Transportation Routes



Transit Accessibility

95%

HOUSEHOLDS

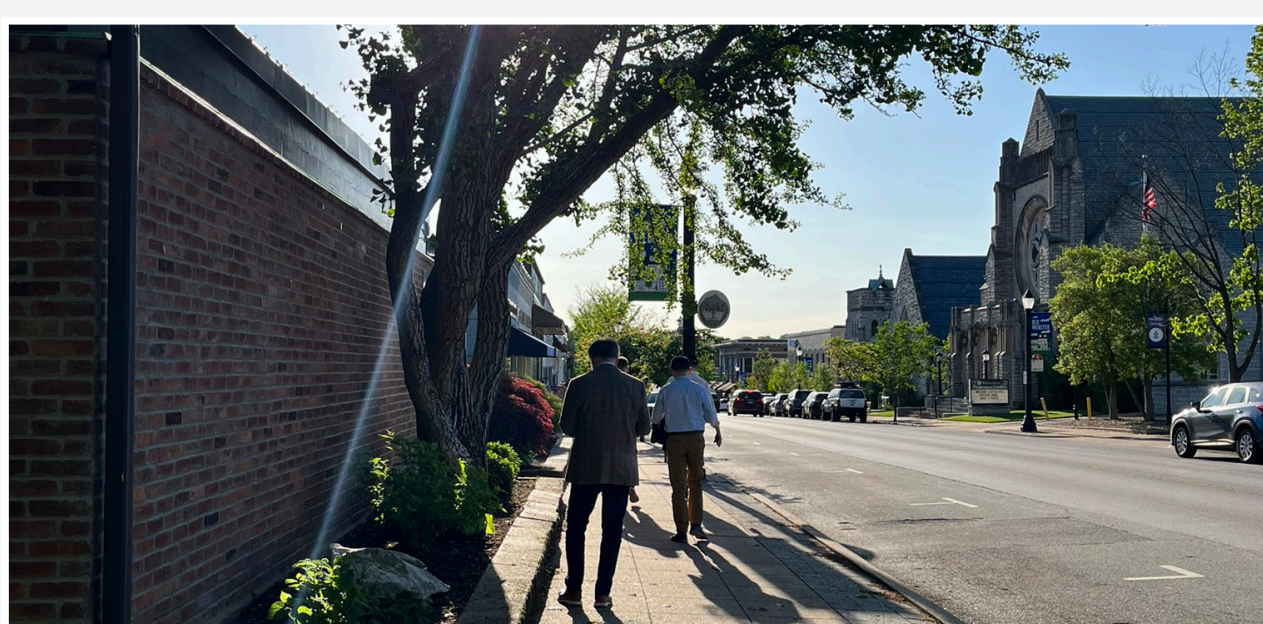
75K

JOBS

Approximately 95 percent of Webster Groves households are within a ½ mile of transit service, with nearly 75,000 jobs accessible in a 30-minute transit trip.

Community Conversations

KEY MOBILITY & CONNECTIVITY THEMES



Walkability. While Webster Groves is known for its walkability, stakeholders emphasize the need for improved pedestrian infrastructure, particularly to ensure safe routes for children and enhance mobility across key areas.



Traffic & Safety. Stakeholders have raised concerns about traffic and pedestrian safety on major thoroughfares like Elm Avenue and Big Bend Boulevard, and in South Webster, advocating for measures to reduce traffic and improve safety.



Public Transit. The limited public transportation options in Webster Groves hinder the commuting workforce, prompting the need to assess and expand the system to support a more comprehensive multi-modal transportation network.



Complete Streets for All

PILLAR 6

What are YOUR Aspirations for Complete Streets for All?

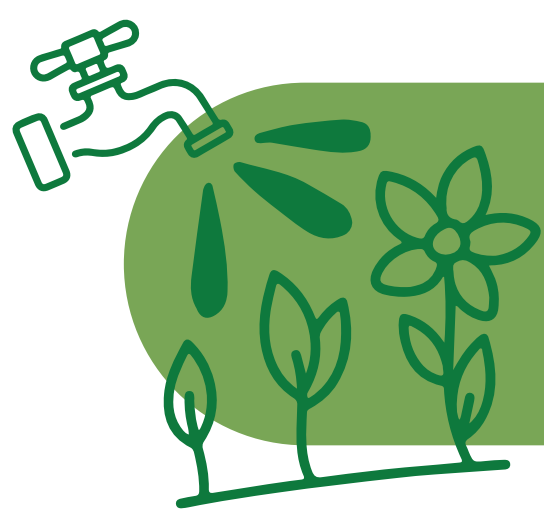
Below are the initial Goals and Strategies that the City of Webster Groves can take to support **Complete Streets for All**. Please share your thoughts in the table below regarding whether these **reflect your vision** for the future, if you have **additional goals** in mind, and how we can create a **roadmap for implementation**.

Goals	Strategies	On a scale of 1 to 3, should this be a GOAL for Webster Groves? Add a sticker on the scale below.			Any actions come to mind to achieve these STRATEGIES? Use a post-it to share your thoughts below.
Goal 1: Reduce dangerous driving on Webster Groves' streets.	Strategy 1: Implement traffic calming measures.	NOT AT ALL 1/3	NEUTRAL 2/3	DEFINITELY 3/3	
	Strategy 2: Adopt a Complete Streets Policy.				
	Strategy 3: Collaborate with St. Louis County to improve safety along Laclede Station Road and Big Bend Boulevard.				
	Strategy 4: Pursue funding to develop a Safety Action Plan and implement safety improvements.				
Goal 2: Implement and maintain a complete, safe, and accessible bicycle network that connects all residents to commercial districts, parks, schools, transit and neighboring communities.	Strategy 1: Implement a bicycle network primarily comprised of neighborhood greenways.	NOT AT ALL 1/3	NEUTRAL 2/3	DEFINITELY 3/3	
	Strategy 2: Work towards implementing the trail and bicycle facility recommendations included in the St. Louis County Action Plan.				
	Strategy 3: Establish a bicycle parking ordinance and expand availability of bicycle parking.				
	Strategy 4: Add directional wayfinding.				
	Strategy 5: Promote bicycle safety and education.				
	Strategy 6: Coordinate with neighboring communities to ensure existing and future bicycle networks connect residents to jobs and destinations throughout the region.				
	Strategy 7: Ensure that all new and existing bicycle facilities are equipped with the appropriate safety and traffic calming measures.				
Goal 3: Develop and maintain a complete, safe, and accessible pedestrian network that effectively connects all residents to city assets and neighboring communities.	Strategy 1: Address gaps in the sidewalk network and widen sidewalks that do not meet ADA accessibility standards.	NOT AT ALL 1/3	NEUTRAL 2/3	DEFINITELY 3/3	
	Strategy 2: Enhance crosswalks and improve crossings.				
	Strategy 3: Create pedestrian zones.				
	Strategy 4: Enhance streetscapes in business districts.				
	Strategy 5: Enhance connectivity to transit stops.				
	Strategy 6: Work with MDOT to implement improvements to the two pedestrian overpasses crossing I-44.				

➤ Are there any other high level goals you think would support COMPLETE STREETS FOR ALL in Webster Groves? Use a post-it to share your thoughts.

PLACE POST IT HERE





Essential Systems

PILLAR 7

Why is this a Pillar for Webster Groves?

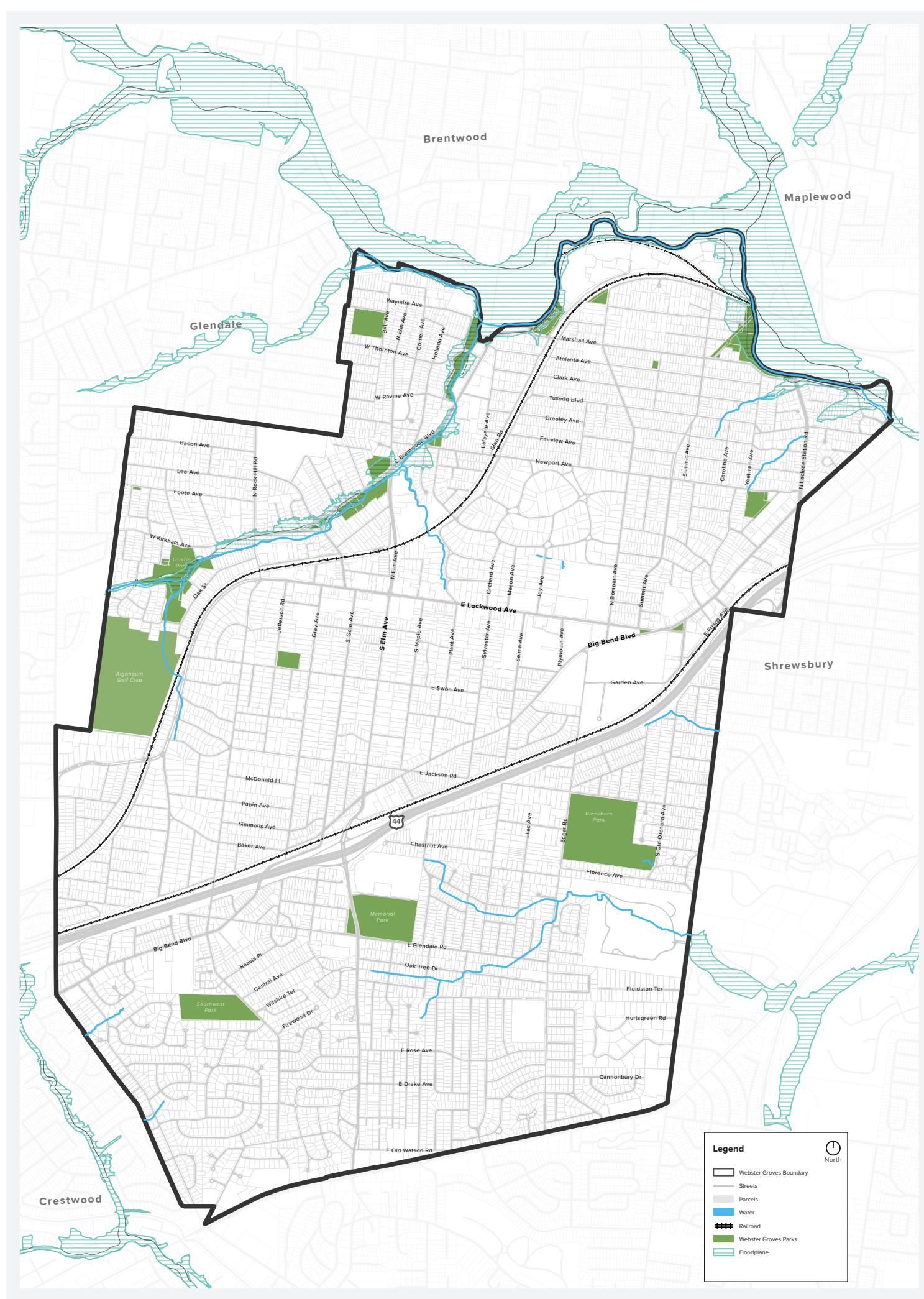
Webster's **Essential Systems**, the infrastructure and utilities, play a crucial role in ensuring a high quality of life for residents. By partnering with state and county providers, enhancing stormwater management, and promoting energy conservation and sustainability practices, Webster Groves can continue to thrive as a premier place to live while positioning itself as a regional leader in sustainability.

Infrastructure & Utilities

Infrastructure Systems: Water, sanitary, and energy are operated and maintained by State and County entities.

Stormwater Management: Effective stormwater management is vital to maintaining the ecological health and resilience of the city.

Environmental Conditions Map



Flooding

The city has expressed concerns about flooding in areas adjacent to or within the floodplain. Currently, a regulatory floodway runs along the northern boundary of the city, carrying a 1 percent and 0.2 percent annual chance flood hazard. West Kirkham Avenue and South Brentwood Boulevard fall within this regulatory floodway, posing a 1 percent annual flood risk for the City of Webster Groves. The risk of flooding properties in this area is at 12 percent and is expected to increase in the future as climate change produces stronger storms for the area.

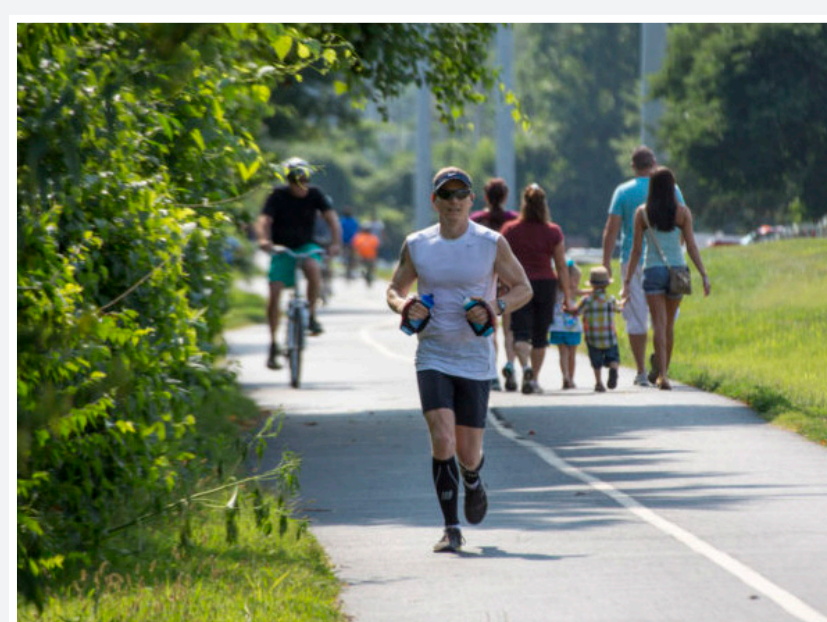
Development areas adjacent to Deer Creek and Shady Grove Creek should be reviewed closely for floodplain impact with the city's flood plain administrator. A city floodplain development permit shall be required, and the City should consider purchasing existing land within the floodplain and redeveloping it for low impact uses such as parks or recreation.



Community Conversations

WHAT TYPES OF SUSTAINABILITY INITIATIVES SHOULD WG FOCUS ON TO ENHANCE QUALITY OF LIFE?

There is a consensus by survey respondents on the necessity of implementing policies and regulations that support sustainability initiatives, collaborating with stakeholders to address environmental challenges, and providing incentives to promote sustainable practices at the municipal level, including:



Improving infrastructure for pedestrians and cyclists, alternative transportation options, and promoting electric vehicles.



Emphasizing community engagement and inclusion to ensure equitable decision-making.



Prioritizing environmental conservation and restoration efforts such as stormwater management, light pollution, and habitat protection.



Promoting renewable energy and sustainability practices such as solar panels and electric vehicle infrastructure.



Upgrading infrastructure as needed to enhance resilience and sustainability while addressing aging facilities.



Essential Systems

PILLAR 7

What are YOUR Aspirations for Essential Systems?

Below are the initial Goals and Strategies that the City of Webster Groves can take to support **Essential Systems**. Please share your thoughts in the table below regarding whether these **reflect your vision** for the future, if you have **additional goals** in mind, and how we can create a **roadmap for implementation**.

Goals	Strategies	On a scale of 1 to 3, should this be a GOAL for Webster Groves? Add a sticker on the scale below.			Any actions come to mind to achieve these STRATEGIES? Use a post-it to share your thoughts below.
Goal 1: Expand and enhance city utilities and infrastructure to ensure equitable distribution, while maintaining efficiency, sustainability, and adaptability to meet the community’s evolving needs.	Strategy 1: Collaborate with private utility companies to improve and expand the water and sanitary systems to ensure sustained infrastructure.	NOT AT ALL 1/3	NEUTRAL 2/3	DEFINITELY 3/3	
	Strategy 2: Analyze existing civil and building infrastructure to determine whether sewers and water mains are functioning properly and efficiently.				
	Strategy 3: Analyze existing civil and building infrastructure to determine whether sewers and water mains are functioning properly and efficiently.				
Goal 2: Strengthen stormwater management practices to enhance the city’s resilience against current and future weather events, including periods of flooding and drought.	Strategy 1: Monitor stormwater capacity to support new growth and development.	NOT AT ALL 1/3	NEUTRAL 2/3	DEFINITELY 3/3	
	Strategy 2: Evaluate and analyze the natural environment for floodplain management purposes.				
	Strategy 3: Promote practices that improve water quality and water conservation across the city.				
	Strategy 4: Continue efforts to purchase properties in floodplain areas with FEMA funding.				
Goal 3: Promote energy conservation and sustainability practices to build a resilient future, improve quality of life, and position Webster Groves as a regional leader in sustainability.	Strategy 1: Enhance energy efficiency and renewable energy use in municipal facilities, operations, and regulations.	NOT AT ALL 1/3	NEUTRAL 2/3	DEFINITELY 3/3	
	Strategy 2: Develop incentive-based programs for energy and environmental conservation.				
	Strategy 3: Educate and promote the benefits and programs available for renewable energy and green infrastructure.				
	Strategy 4: Implement the Forever Webster Groves Sustainability Plan.				

➤ Are there any other high level goals you think would support **ESSENTIAL SYSTEMS** in Webster Groves?
Use a post-it to share your thoughts.

PLACE POST IT HERE





Envision the Future

Let’s Craft a Vision Statement

Let’s work on crafting a vision statement that captures the community’s aspirations and long-term goals for the city. A vision statement serves as a guiding framework, describing what the community wants the city to achieve in the future—typically over the next 10 to 20 years. It reflects shared values, priorities, and desired outcomes in areas such as economic growth, quality of life, environmental sustainability, and more. **Are there specific keywords that the vision statement should include to reflect the community’s core values and priorities?**

➤ **What are THREE WORDS you would use to describe Webster Groves in 2040?** Use a post-it to share your thoughts.

PLACE POST IT HERE

Let’s Prioritize

➤ **What should Webster Groves prioritize in the future?** Place a WG Dollar in the basket below that is marked with the planning initiative you believe should be high priority for Webster in the future. Make sure to use your dollars wisely, you can only use three WG Dollars! You can either invest all in one initiative or spread them across multiple.

1

WG AS A DESTINATION

2

WALKABILITY & BIKEABILITY

3

STRENGTHENING THE TAX BASE

4

ARTS & CULTURE

5

EXCELLENCE IN SERVICE

6

HOUSING DIVERSITY

7

SUSTAINABILITY

8

SOCIAL EQUITY, DIVERSITY, & INCLUSION

9

HOUSING AFFORDABILITY

10

MIXED-USE DEVELOPMENT

➤ **What other priorities should we focus on?** Use a post-it to share your thoughts.

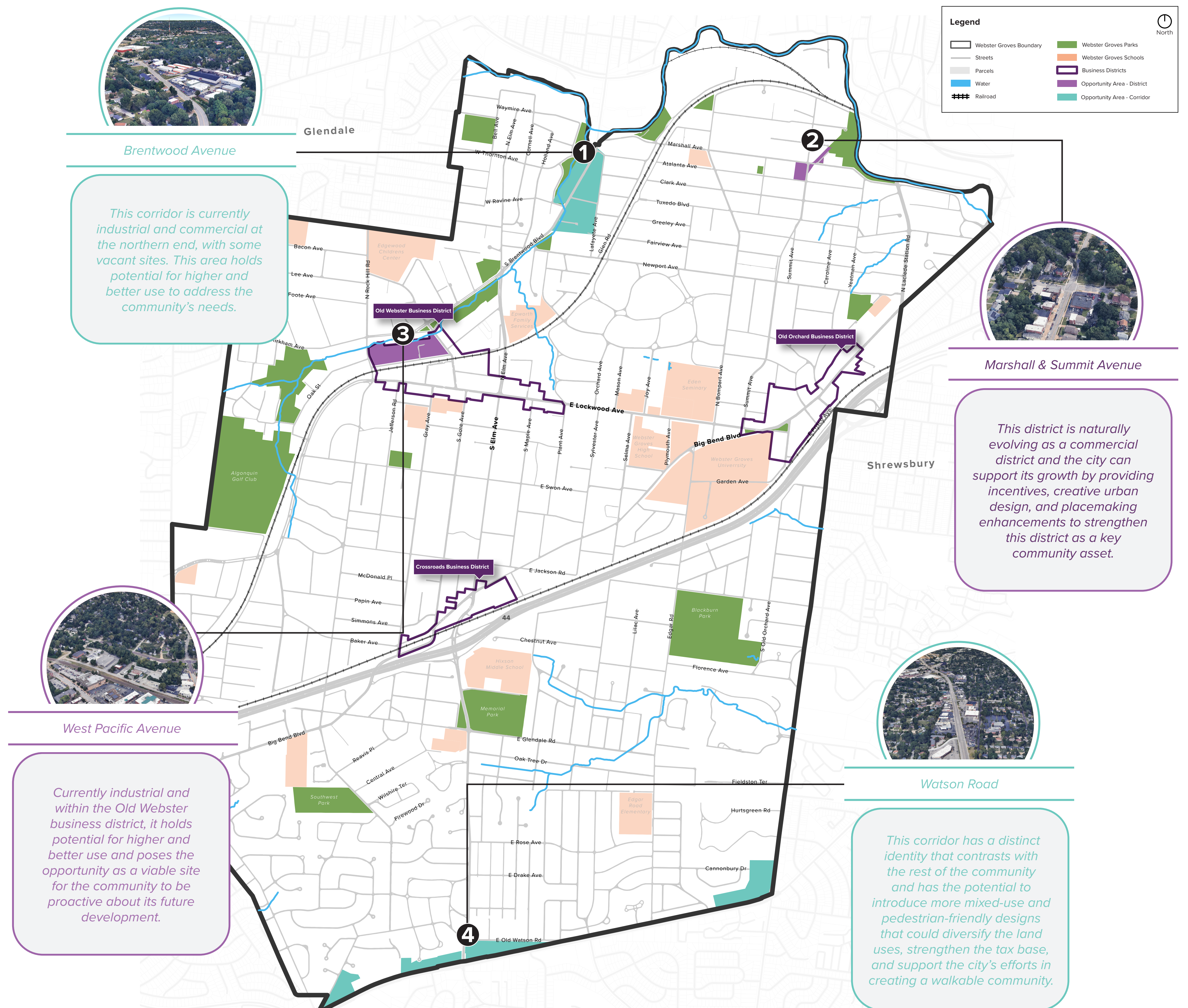
PLACE POST IT HERE

Opportunity Areas

LAND USE & CHARACTER

What are Opportunity Areas?

Webster Groves is a built-out community, yet like many suburban areas, it faces opportunities for change at key locations. These areas may offer strategic value to the community and have potential for change due to various factors, including developer interest, existing land use patterns, ownership, market realities, and location. The community should identify and understand these areas to anticipate and manage potential shifts in land use, ensuring they align with local goals and aspirations. Opportunity sites, outlined on the map below, have been identified by city staff and through community conversations as locations within the city that present unique potential for development. The purple sites are **'District Opportunity Areas'** and the blue sites are **'Corridor Opportunity Areas'** which is important to note for the following engagement exercises.



➤ **Are there any other areas you see potential for land use change in Webster Groves?**
Use a post-it to share your thoughts.

PLACE POST IT HERE

What's next?

Based on your feedback today, concepts and development guidelines will be created for these sites to help the community visualize potential development outcomes for the sites. The designs help to illustrate future land use, scale, and site layout that is in-line with the overall community vision. The Opportunity Site visualizations will help shape and manage community development in the future.

Opportunity Areas

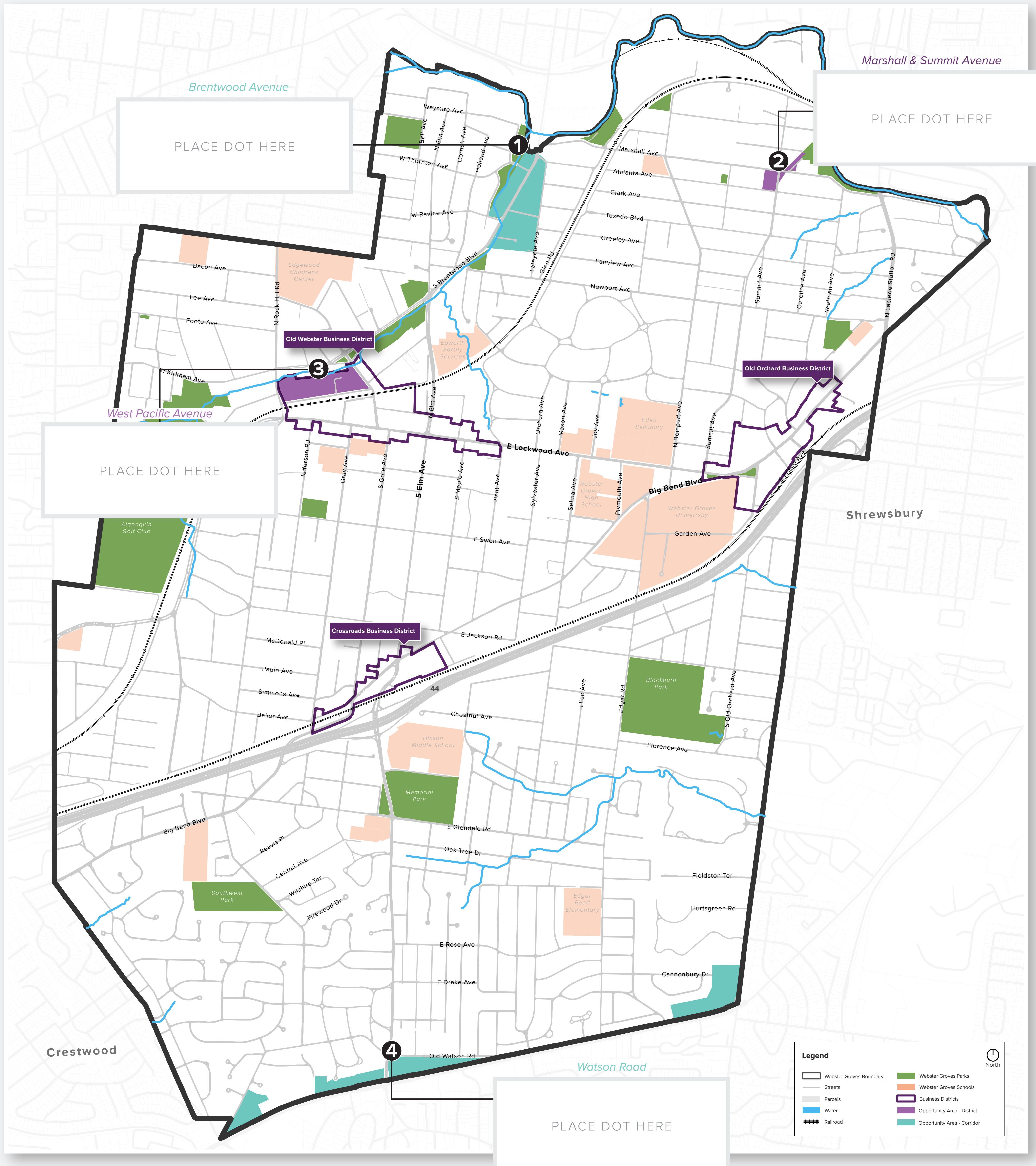
LAND USE & CHARACTER

Potential for Land Use Change

Many Webster Groves residents and leaders have noted the demand for additional housing that meets the needs of seniors, downsizers, and local workforce. Managed new development, including new commercial or mixed-use, would also benefit the city's tax base.

➤ **Which of the following locations would you prioritize for new development?** Place a sticky dot on the map next to the opportunity site where you would like to see:

- Mixed-Use
- Residential - Apartments
- Residential – Condos
- Residential – Townhomes




District Opportunity Areas

VISUAL PREFERENCE

Housing Typologies

If Webster Groves were to diversify its housing options, which typologies do you favor for the DISTRICT OPPORTUNITY AREAS? Use the sticky dots provided to mark the level of which you like or dislike the images shown below.

Small-Lot Single Family




DISLIKE

NEUTRAL

LIKE

Single-Family Attached




DISLIKE

NEUTRAL

LIKE

Townhomes

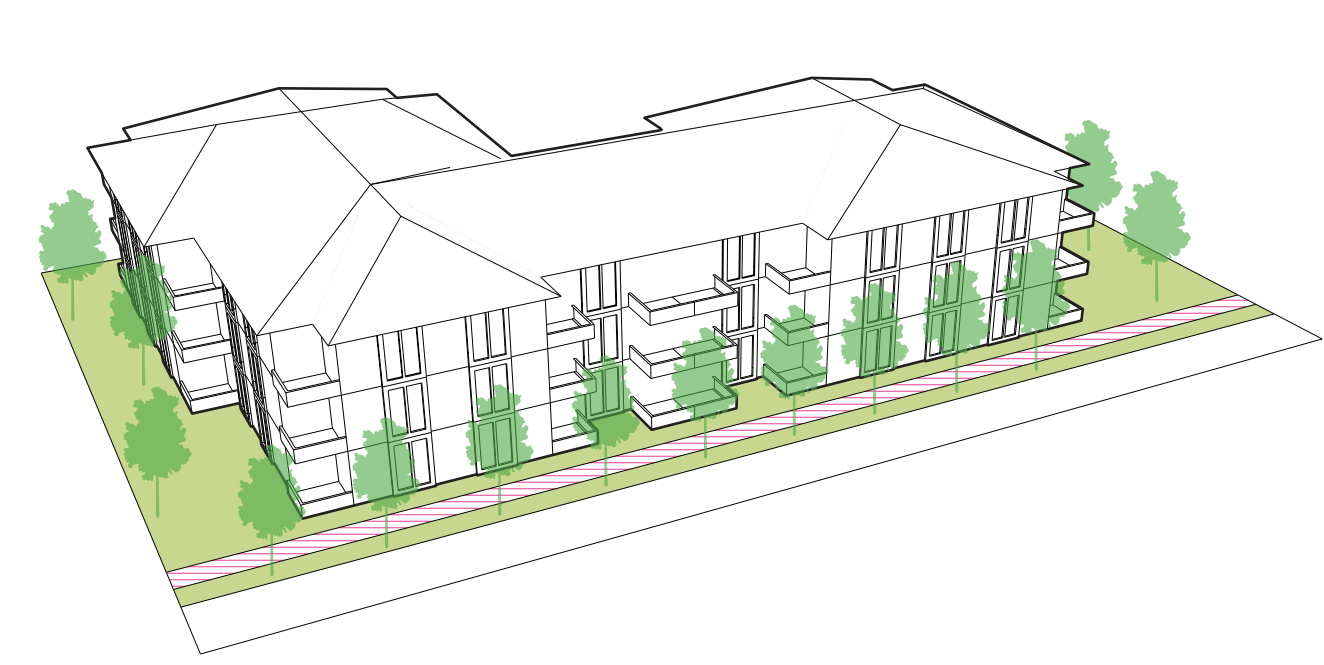


DISLIKE

NEUTRAL

LIKE

Apartment / Condominium

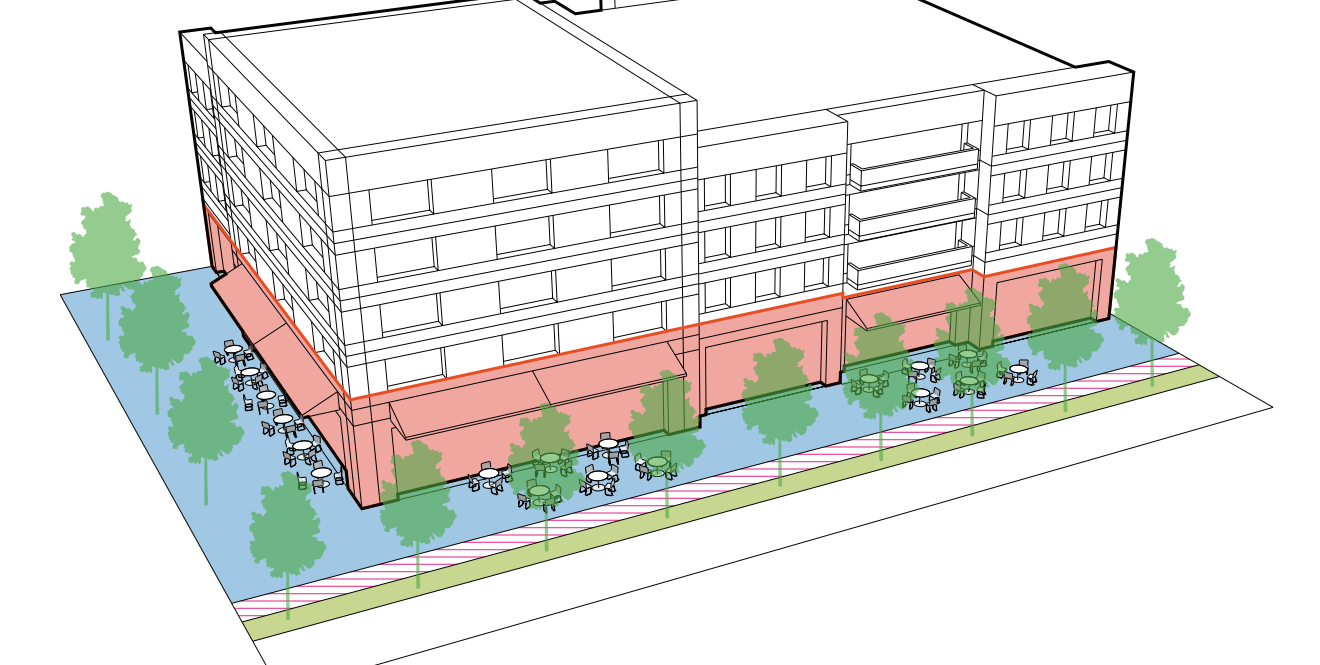


DISLIKE

NEUTRAL

LIKE

Mixed-Use



DISLIKE

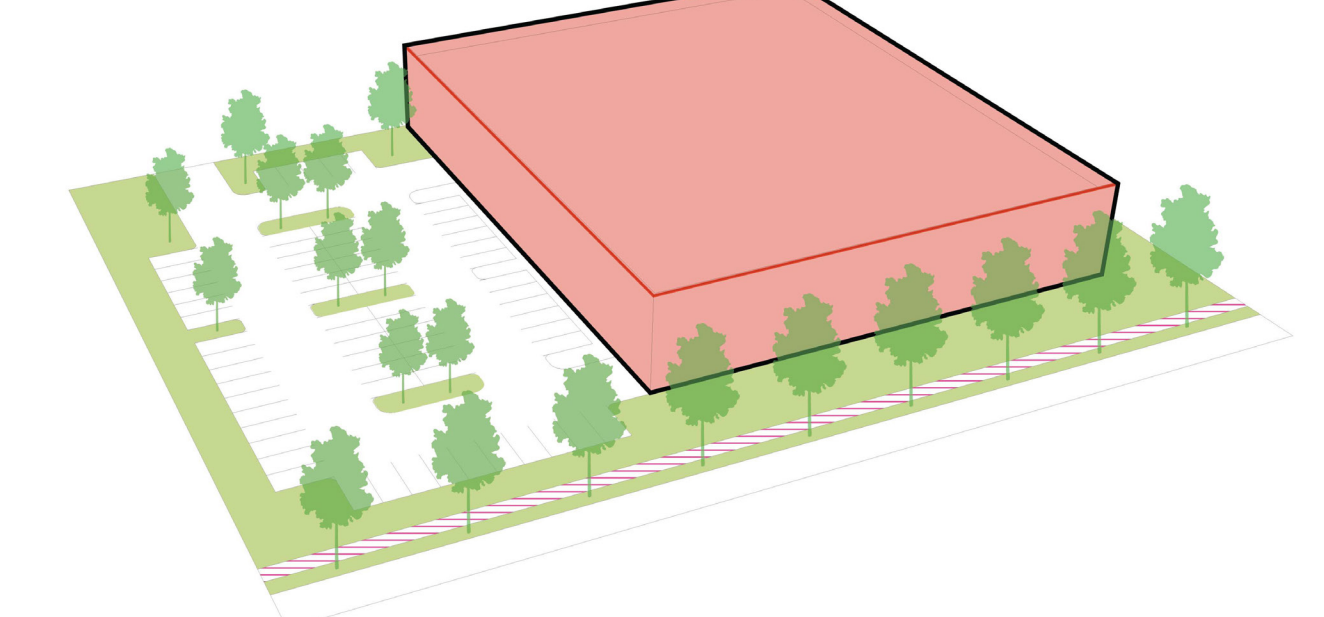
NEUTRAL

LIKE

Commercial Typologies

If Webster Groves were to diversify its commercial character, which typologies do you favor for the DISTRICT OPPORTUNITY AREAS? Use the sticky dots provided to mark the level of which you like or dislike the images shown below.

Stand Alone Commercial

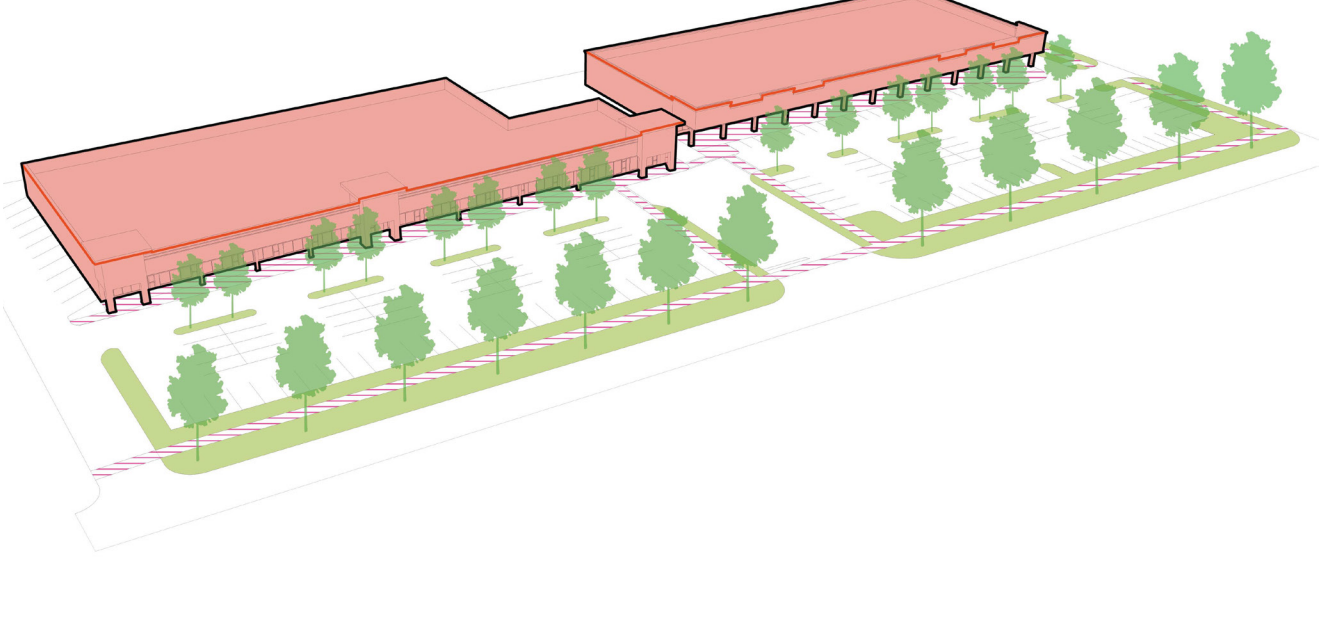


DISLIKE

NEUTRAL

LIKE

Shopping Center

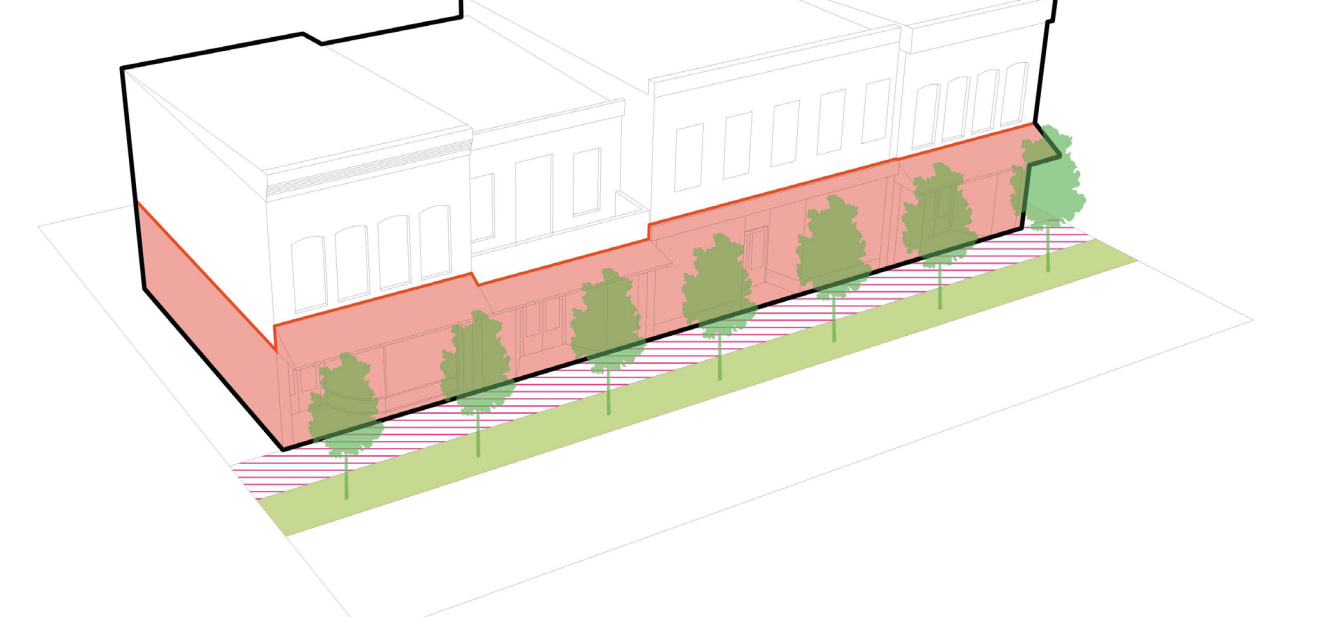


DISLIKE

NEUTRAL

LIKE

Main Street




DISLIKE

NEUTRAL

LIKE

Neighborhood Mixed-Use

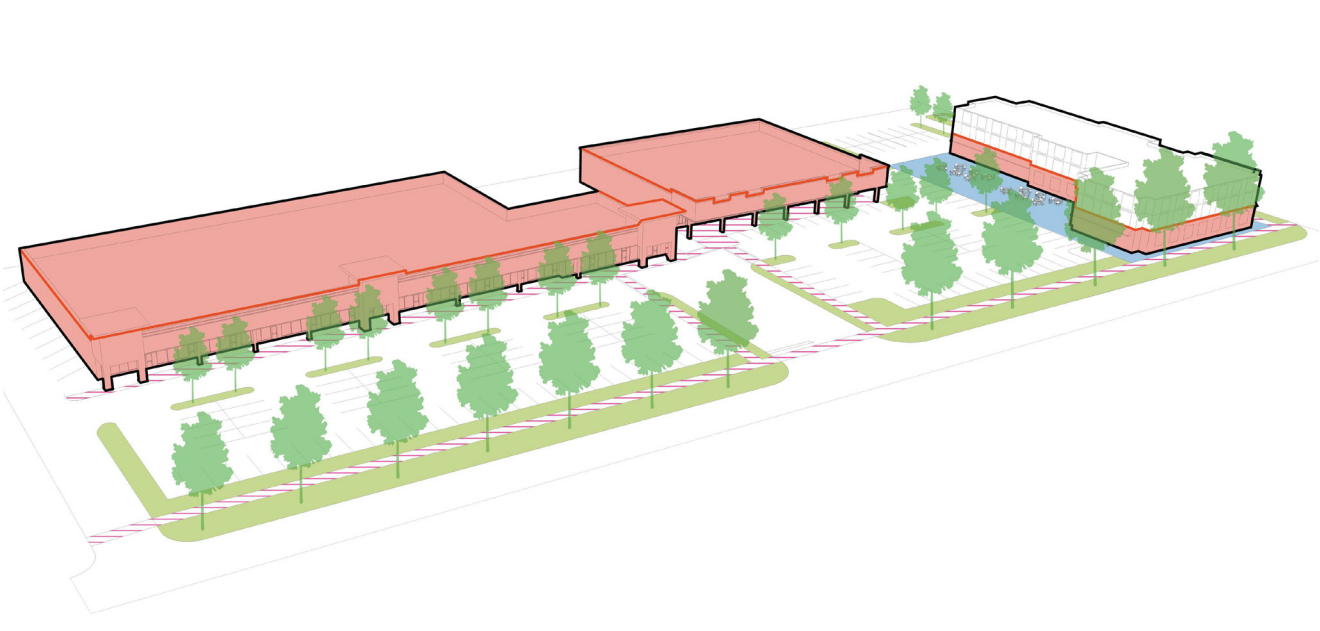


DISLIKE

NEUTRAL

LIKE

Infill Mixed-Use

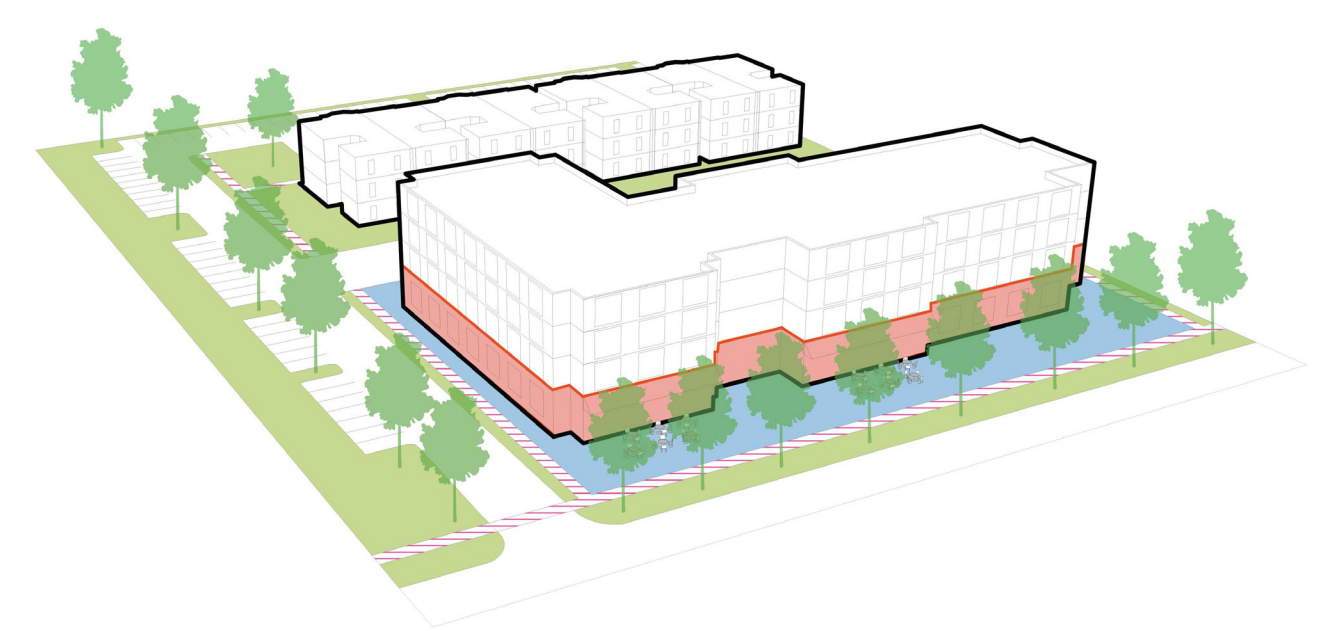


DISLIKE

NEUTRAL

LIKE

Mixed-Use



DISLIKE

NEUTRAL

LIKE

Corridor Opportunity Areas

VISUAL PREFERENCE

Housing Typologies

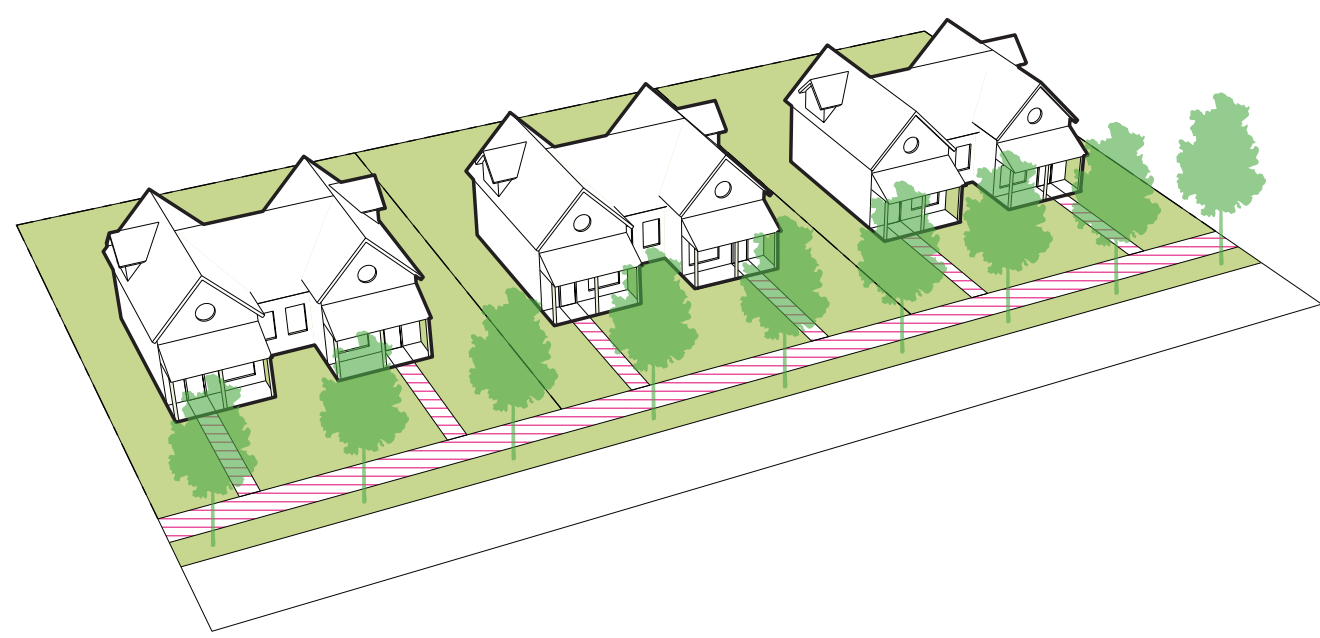
➤ If Webster Groves were to diversify its housing options, which typologies do you favor for the **CORRIDOR OPPORTUNITY AREAS**? Use the sticky dots provided to mark the level of which you like or dislike the images shown below.

Small-Lot Single Family



DISLIKE	NEUTRAL	LIKE

Single-Family Attached



DISLIKE	NEUTRAL	LIKE

Townhomes



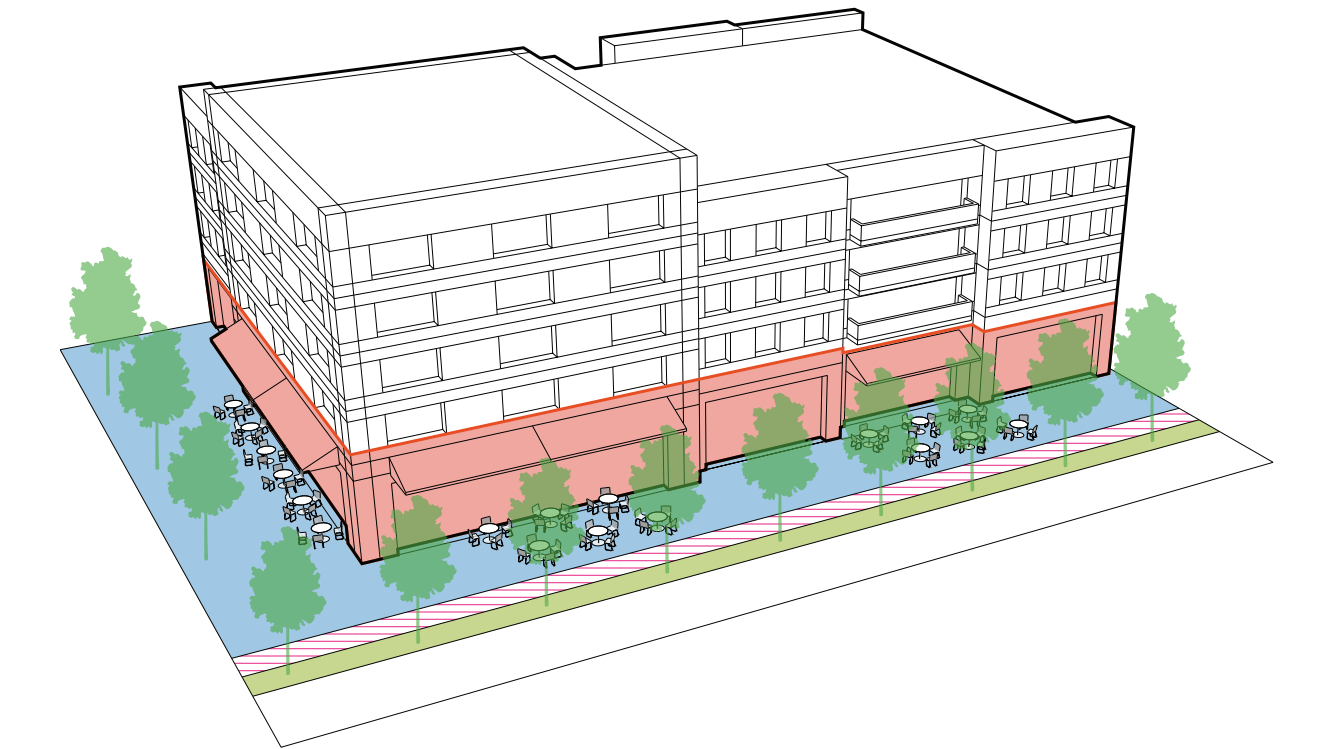
DISLIKE	NEUTRAL	LIKE

Apartment / Condominium



DISLIKE	NEUTRAL	LIKE

Mixed-Use

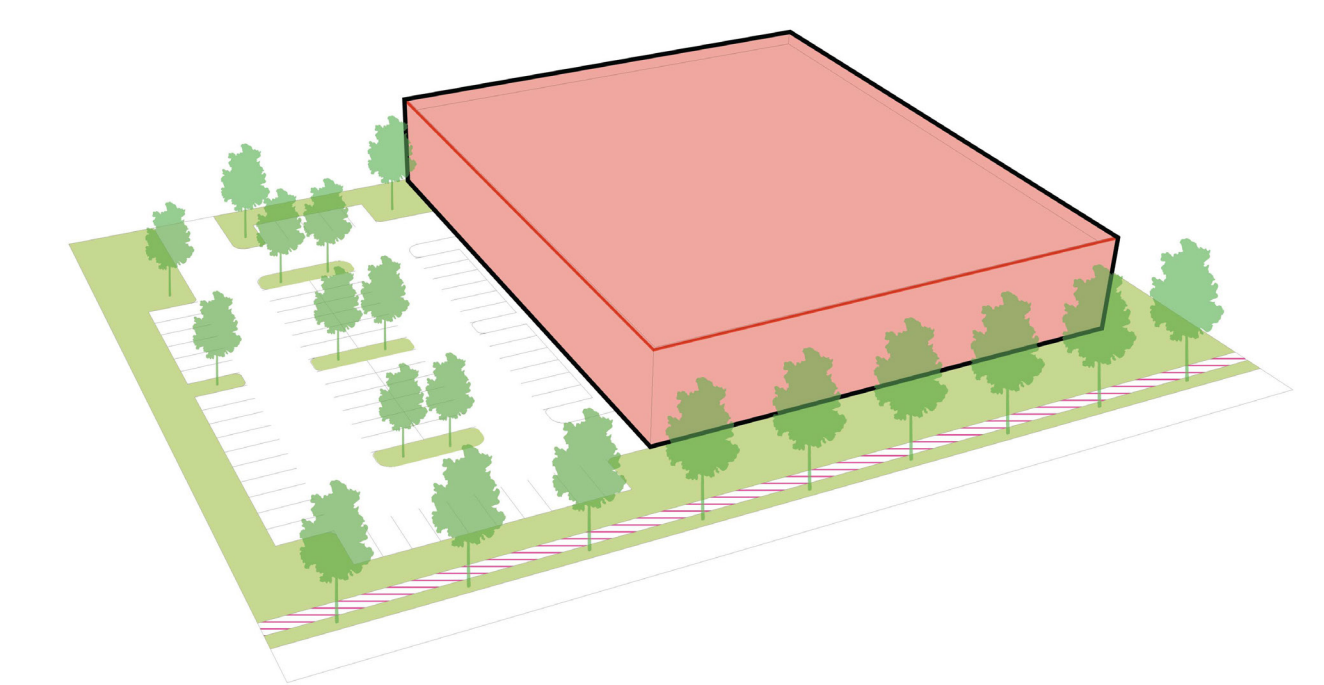


DISLIKE	NEUTRAL	LIKE

Commercial Typologies

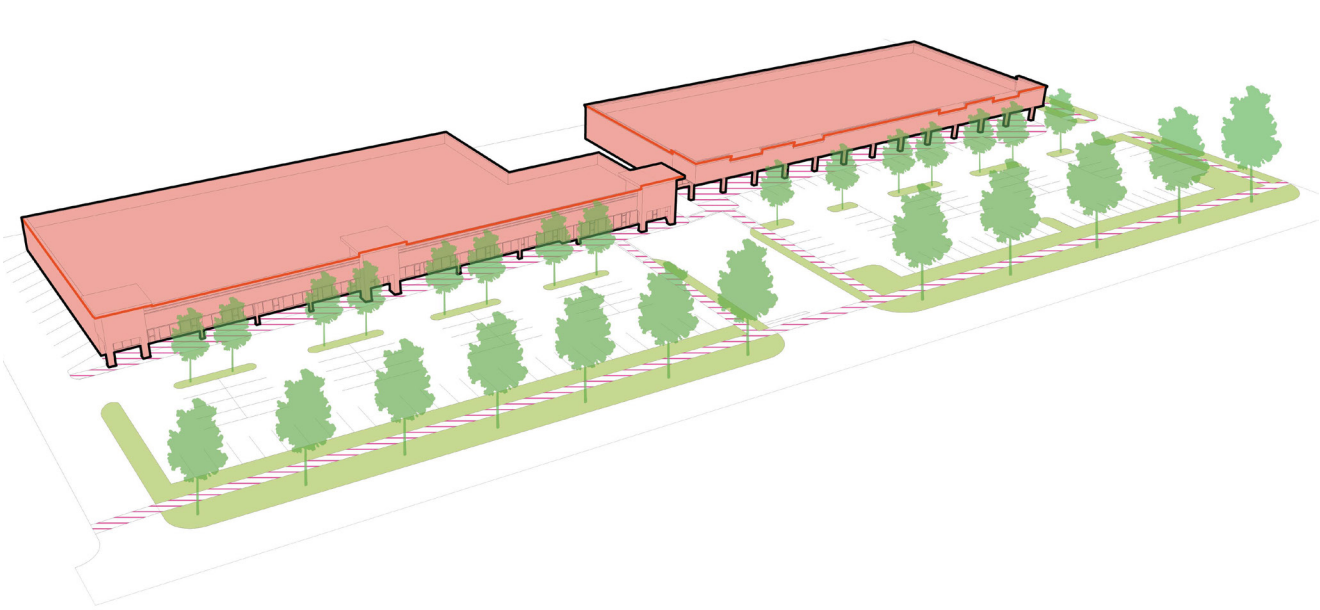
➤ If Webster Groves were to diversify its commercial character, which typologies do you favor for the **CORRIDOR OPPORTUNITY AREAS**? Use the sticky dots provided to mark the level of which you like or dislike the images shown below.

Stand Alone Commercial



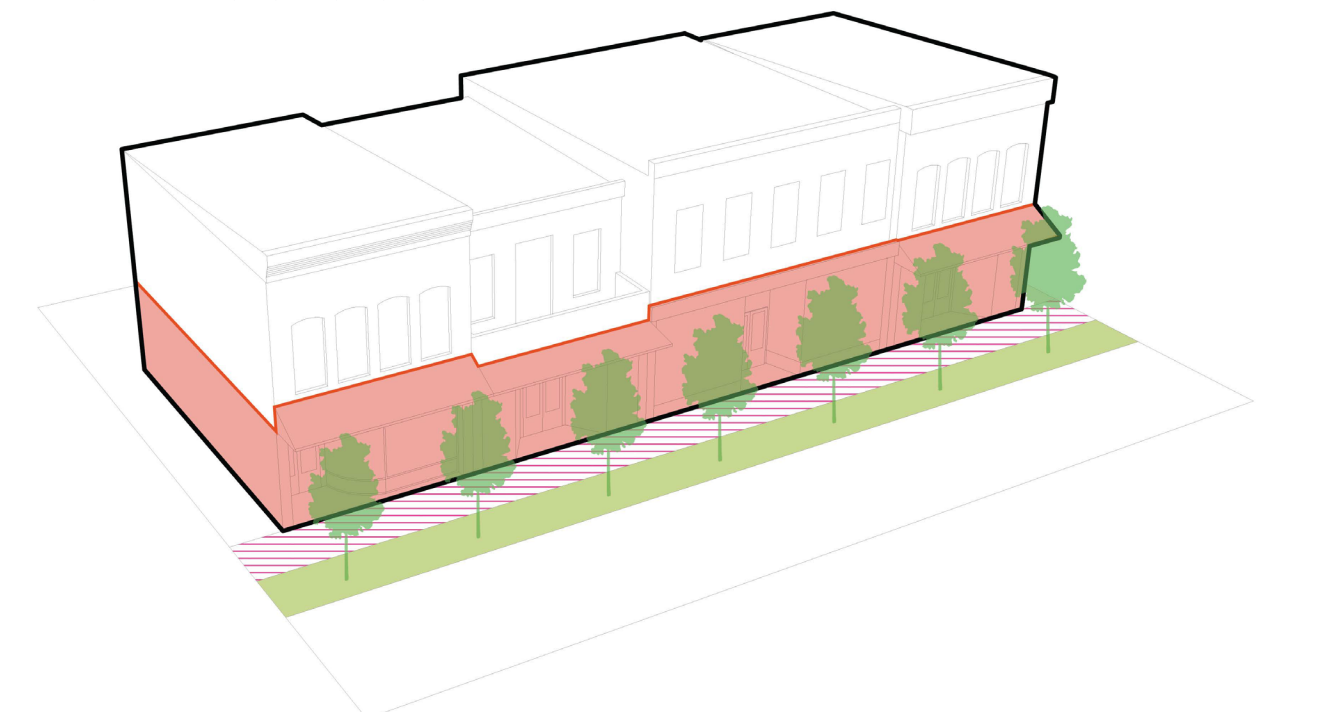
DISLIKE	NEUTRAL	LIKE

Shopping Center



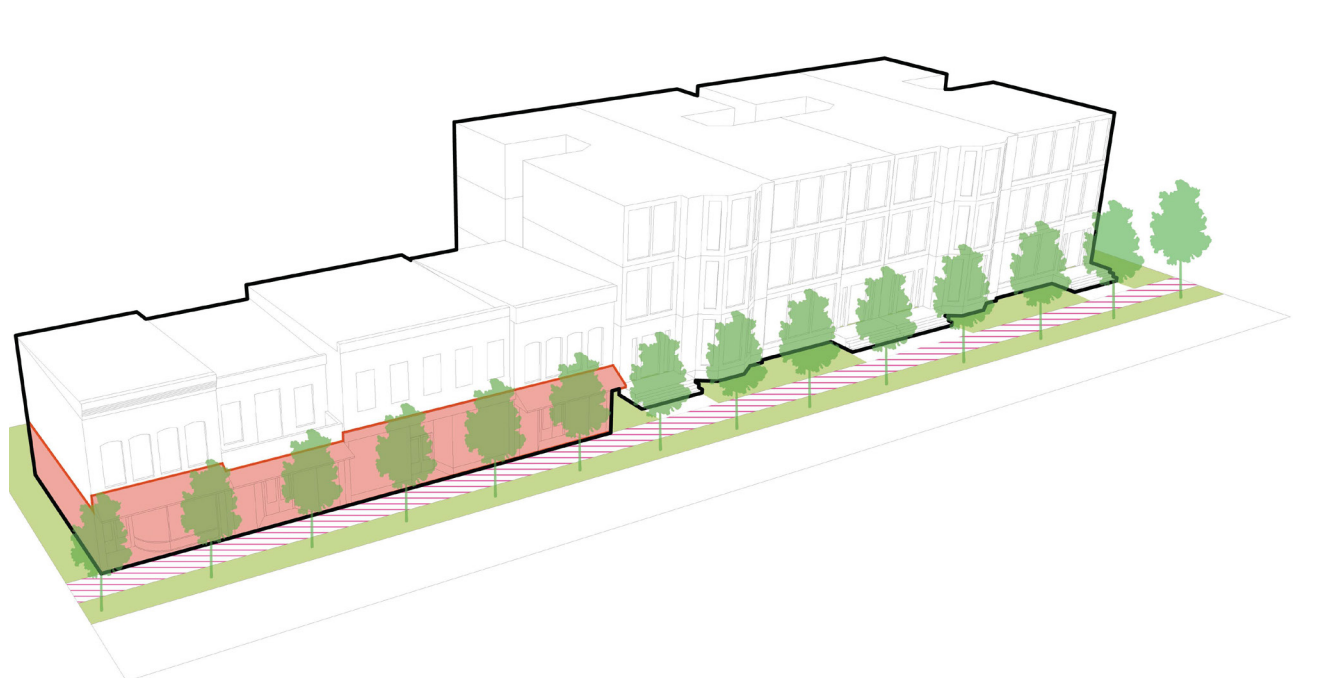
DISLIKE	NEUTRAL	LIKE

Main Street



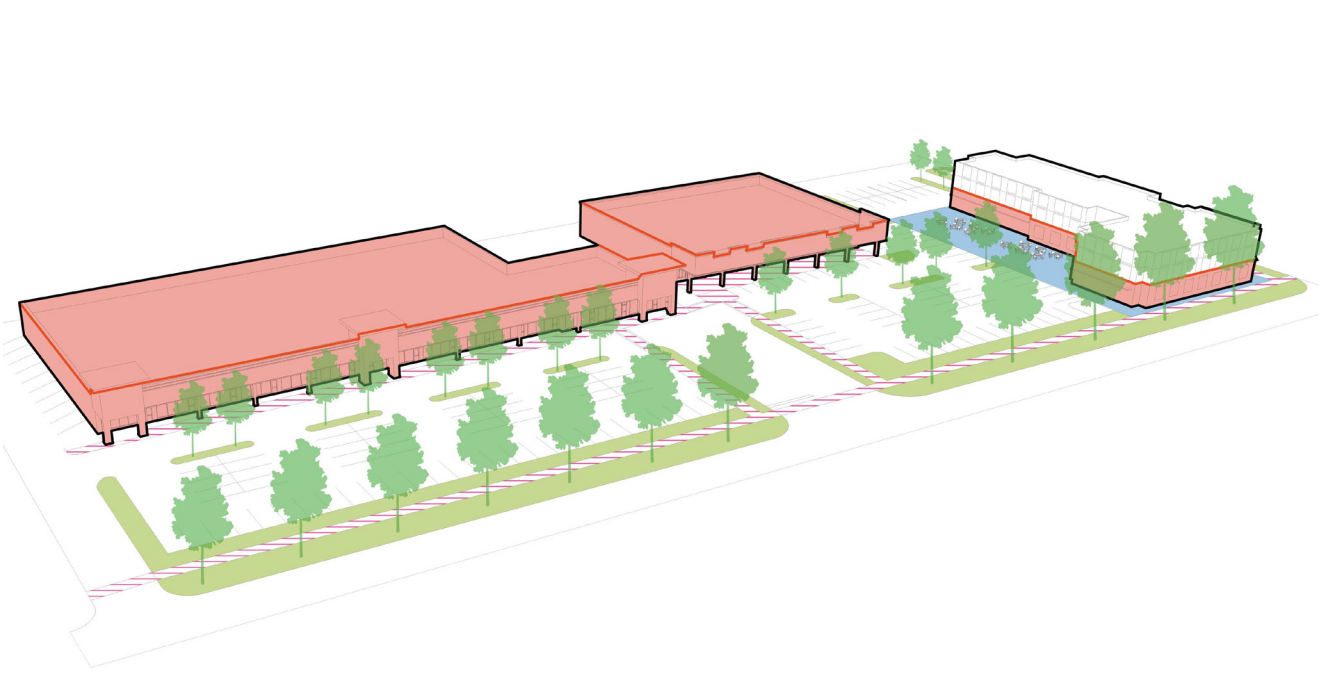
DISLIKE	NEUTRAL	LIKE

Neighborhood Mixed-Use



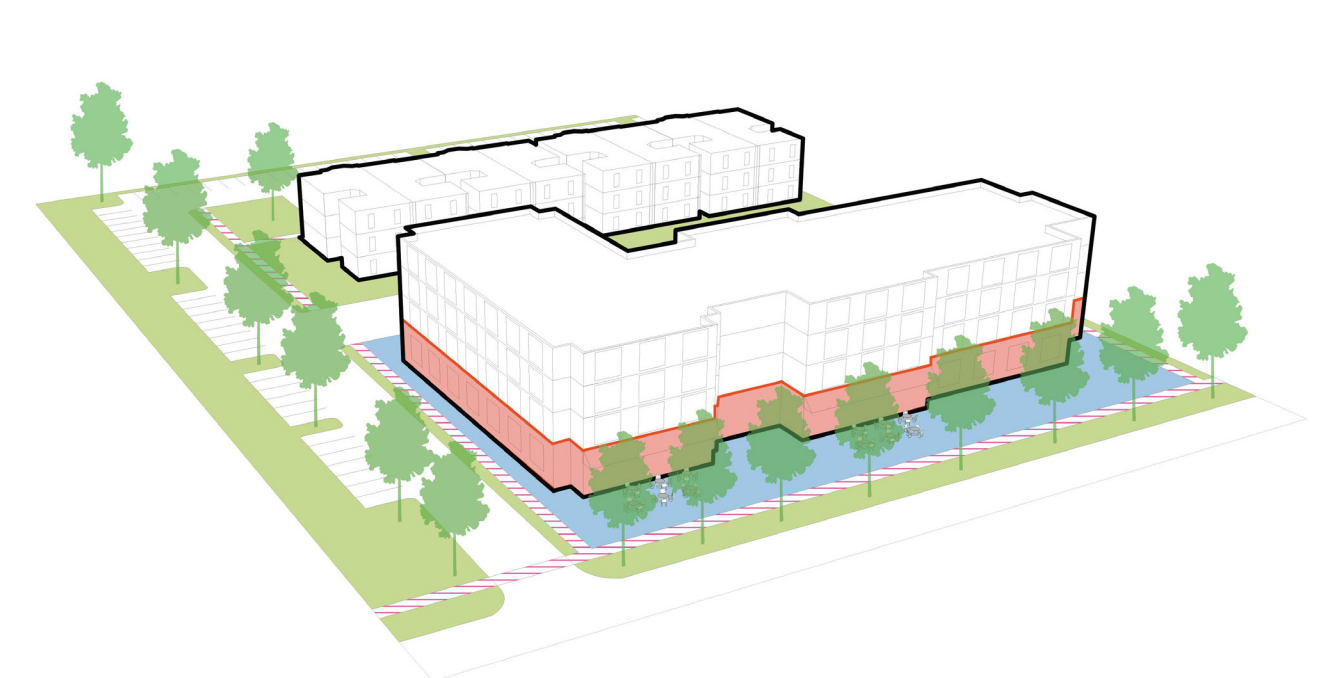
DISLIKE	NEUTRAL	LIKE

Infill Mixed-Use



DISLIKE	NEUTRAL	LIKE

Mixed-Use



DISLIKE	NEUTRAL	LIKE

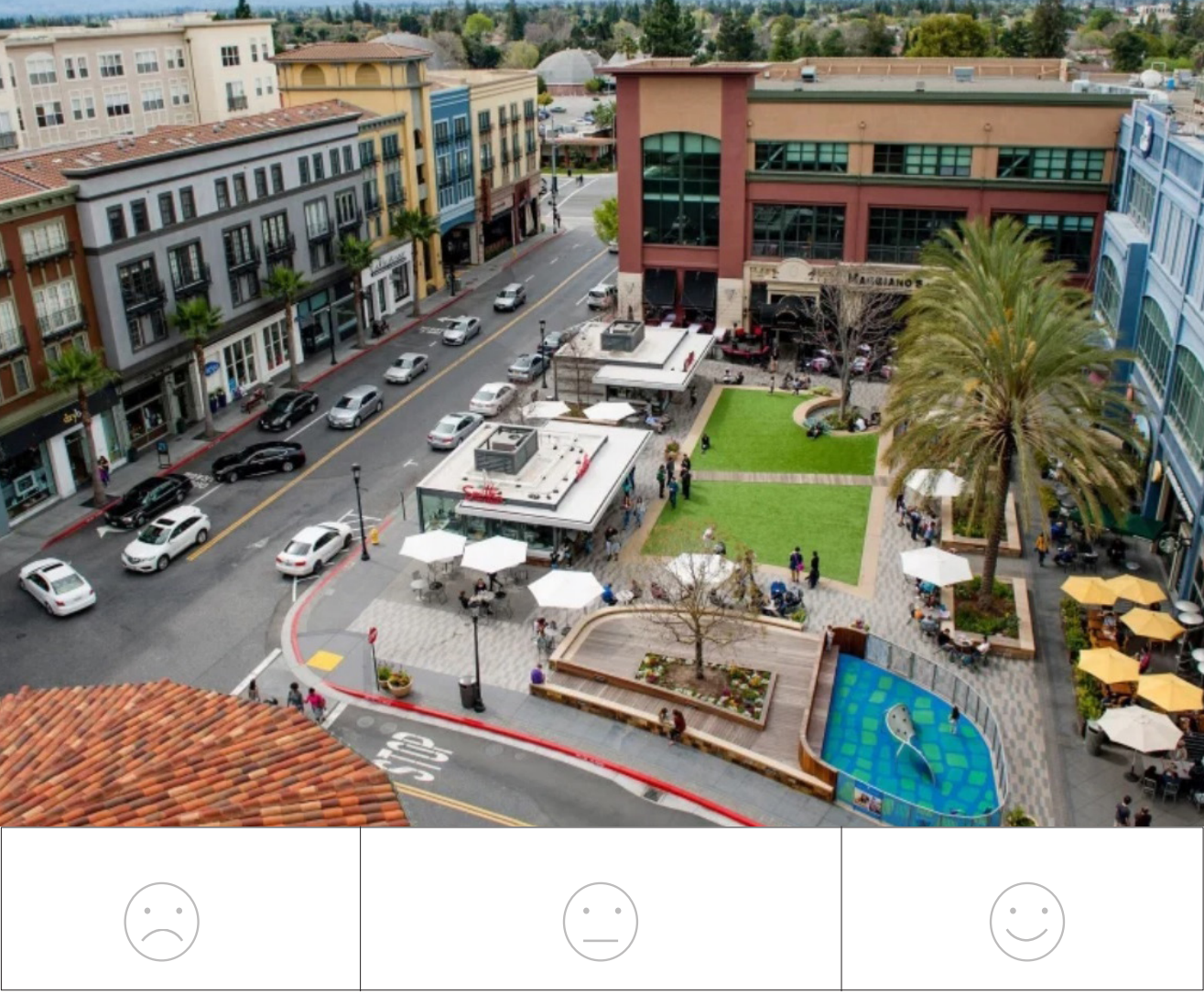
Public Spaces & Placemaking

VISUAL PREFERENCE

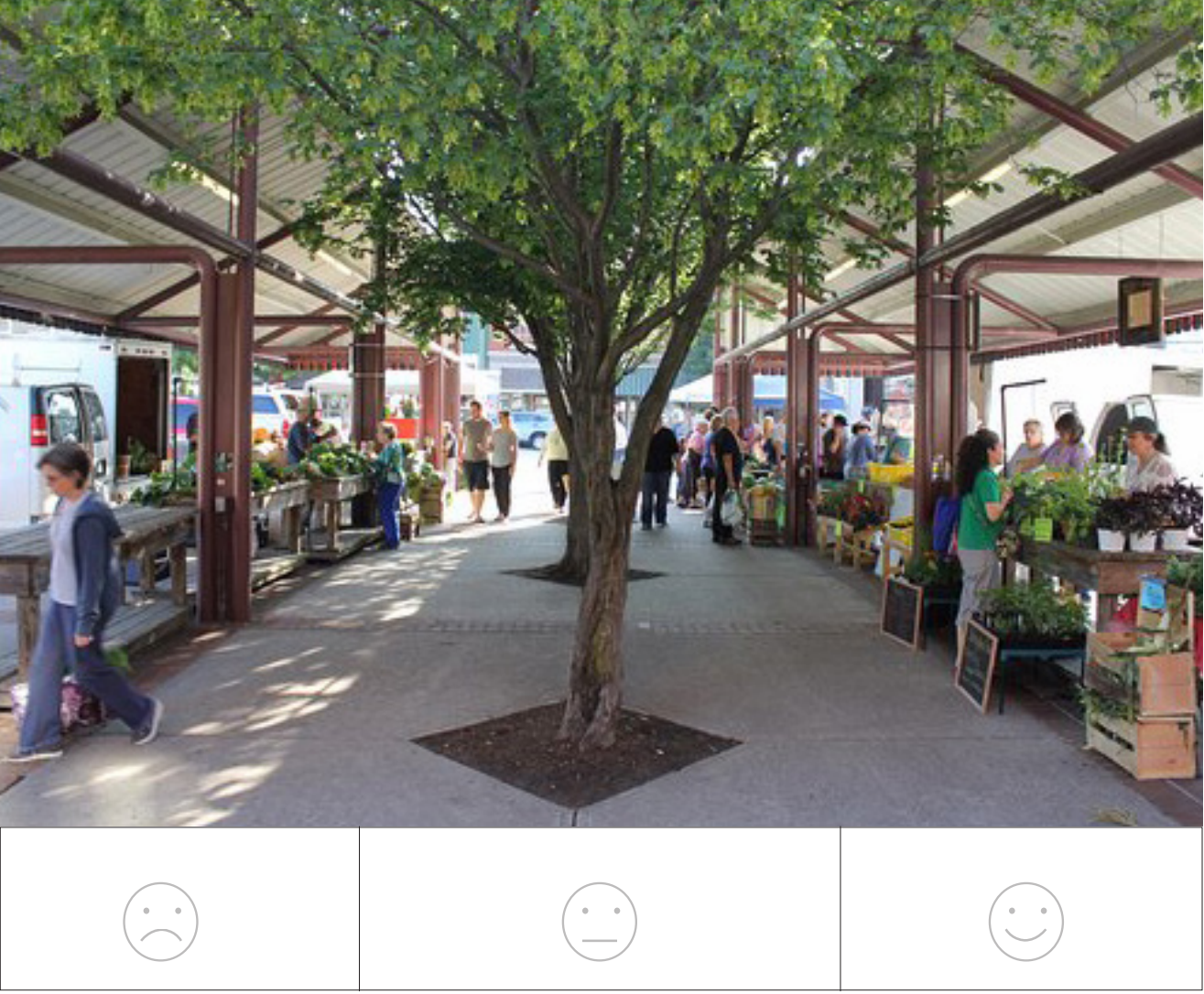
Inclusive Public Spaces

➤ Which public space and placemaking initiatives would you like to see for Webster Groves? Use the sticky dots provided to mark the level of which you like or dislike the images shown below for DISTRICTS and CORRIDORS.

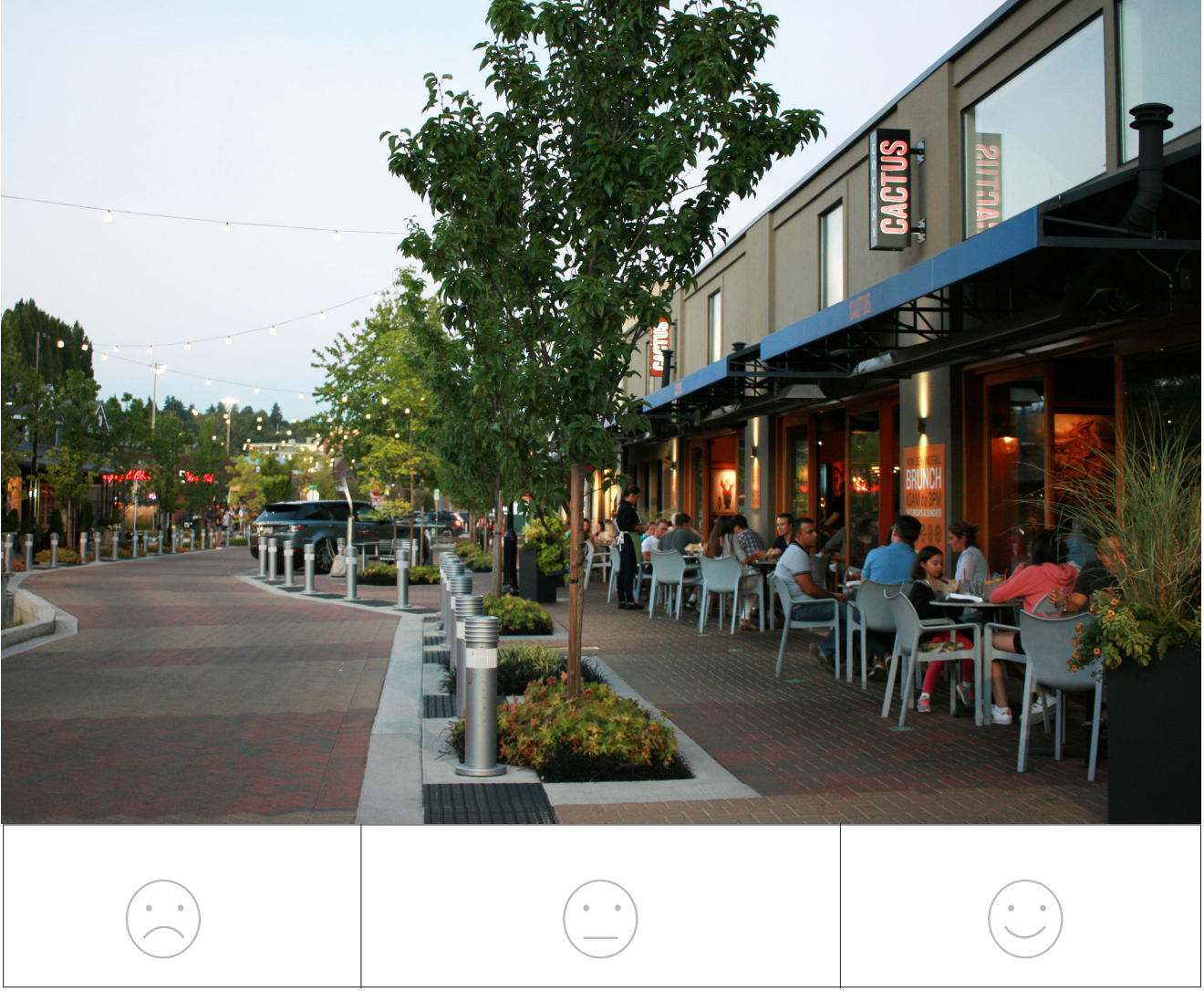
Central Plazas



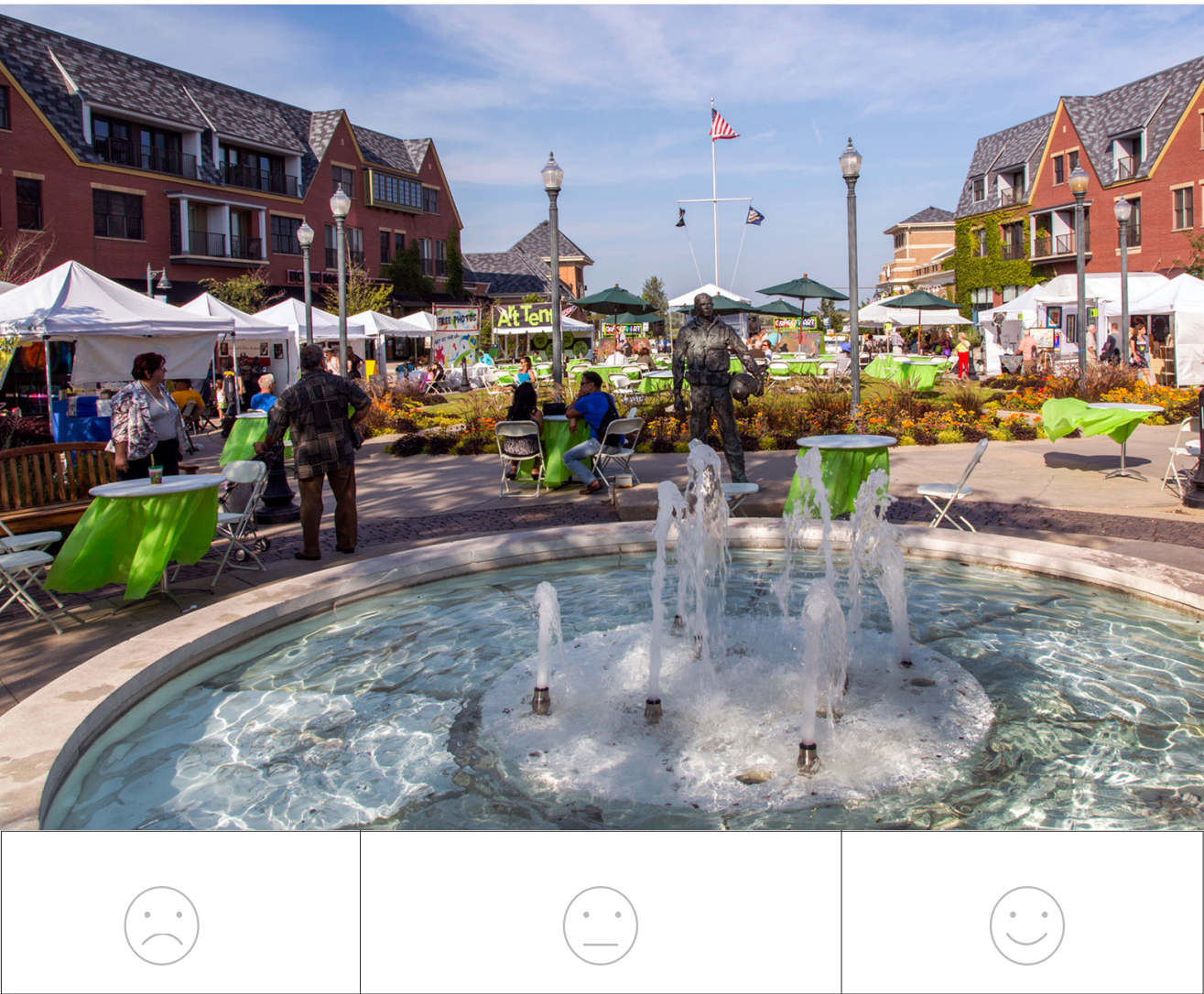
Farmers Markets



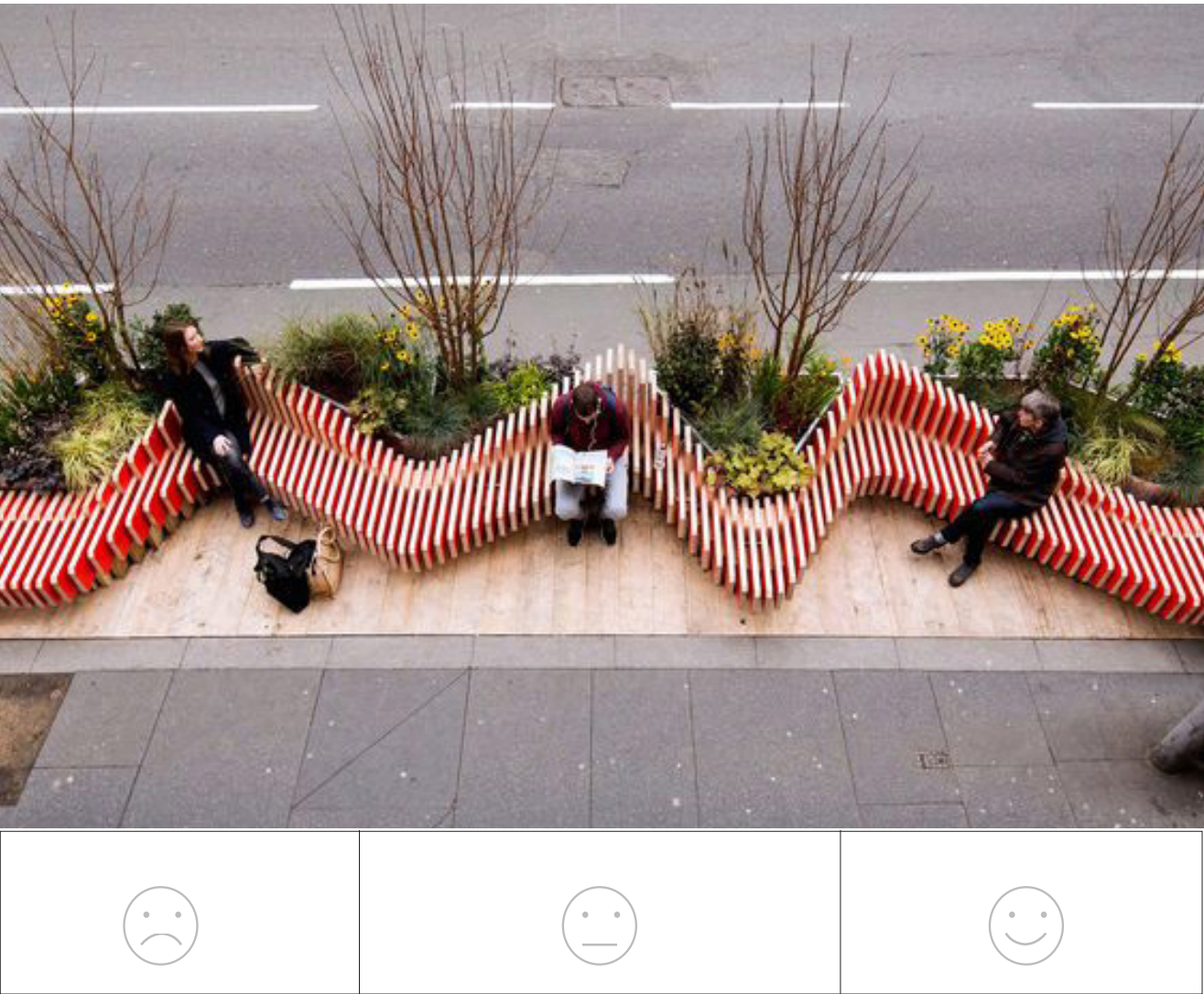
Enhanced Streetscapes



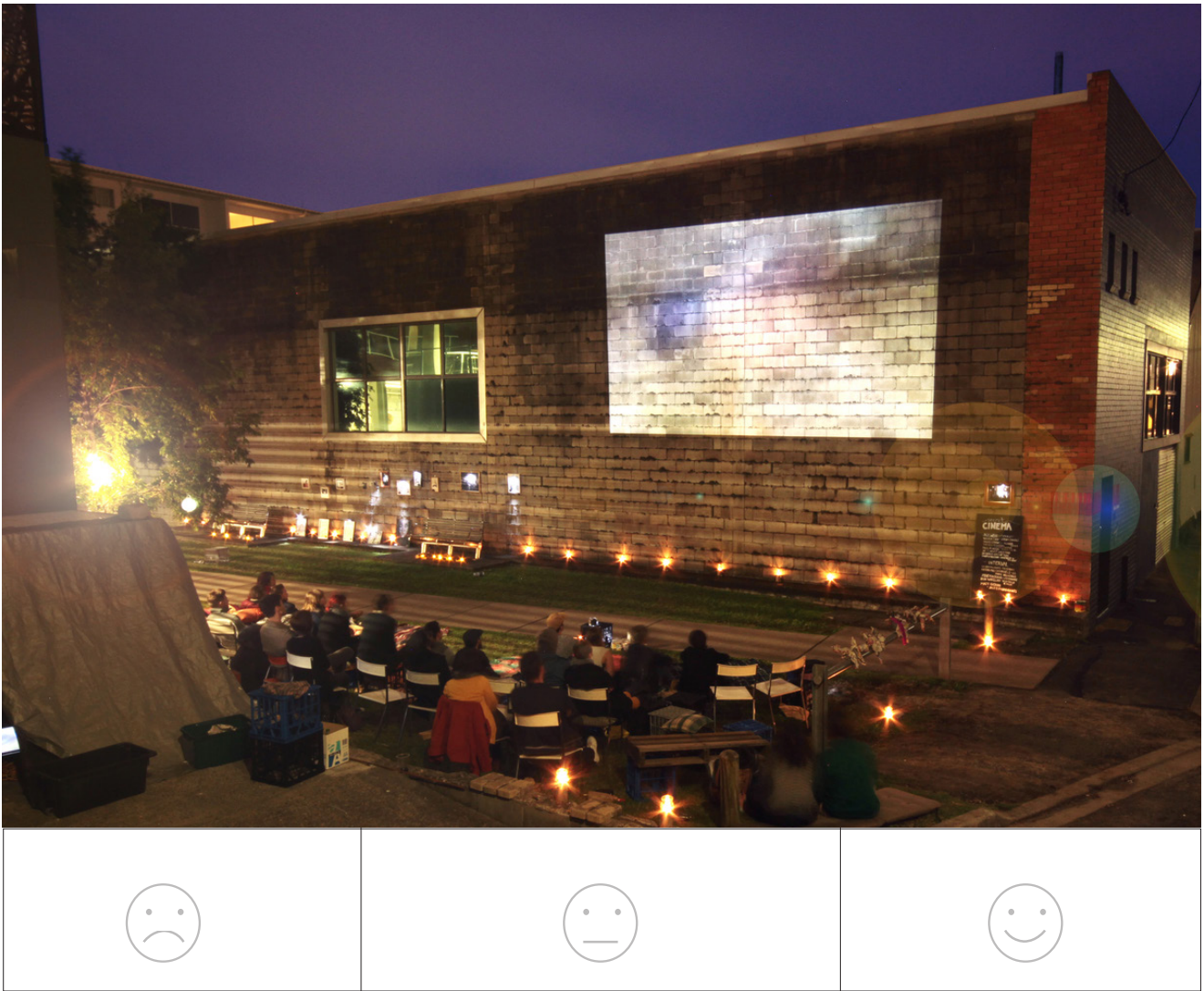
Activated Plazas



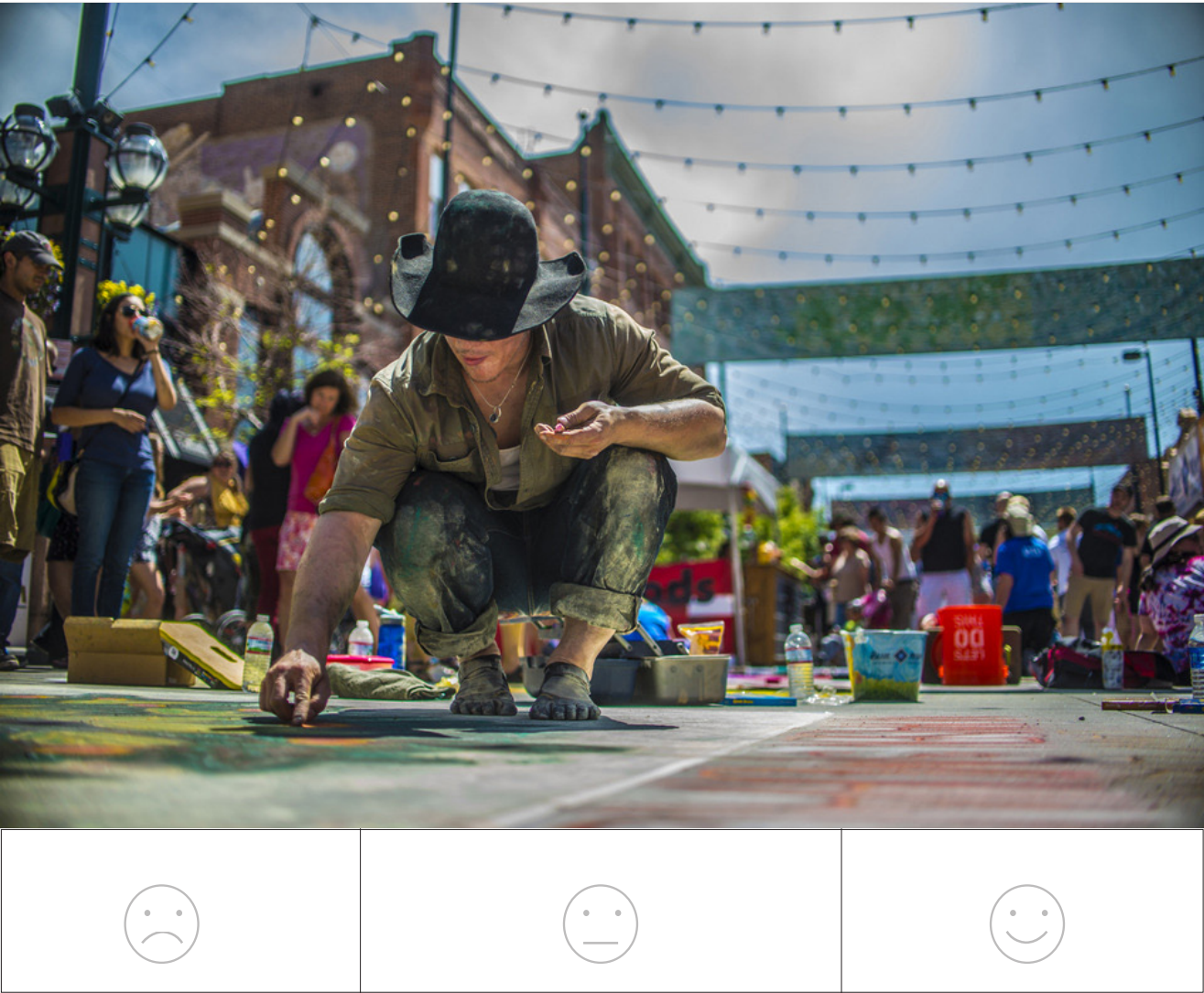
Reclaim Parking Spaces



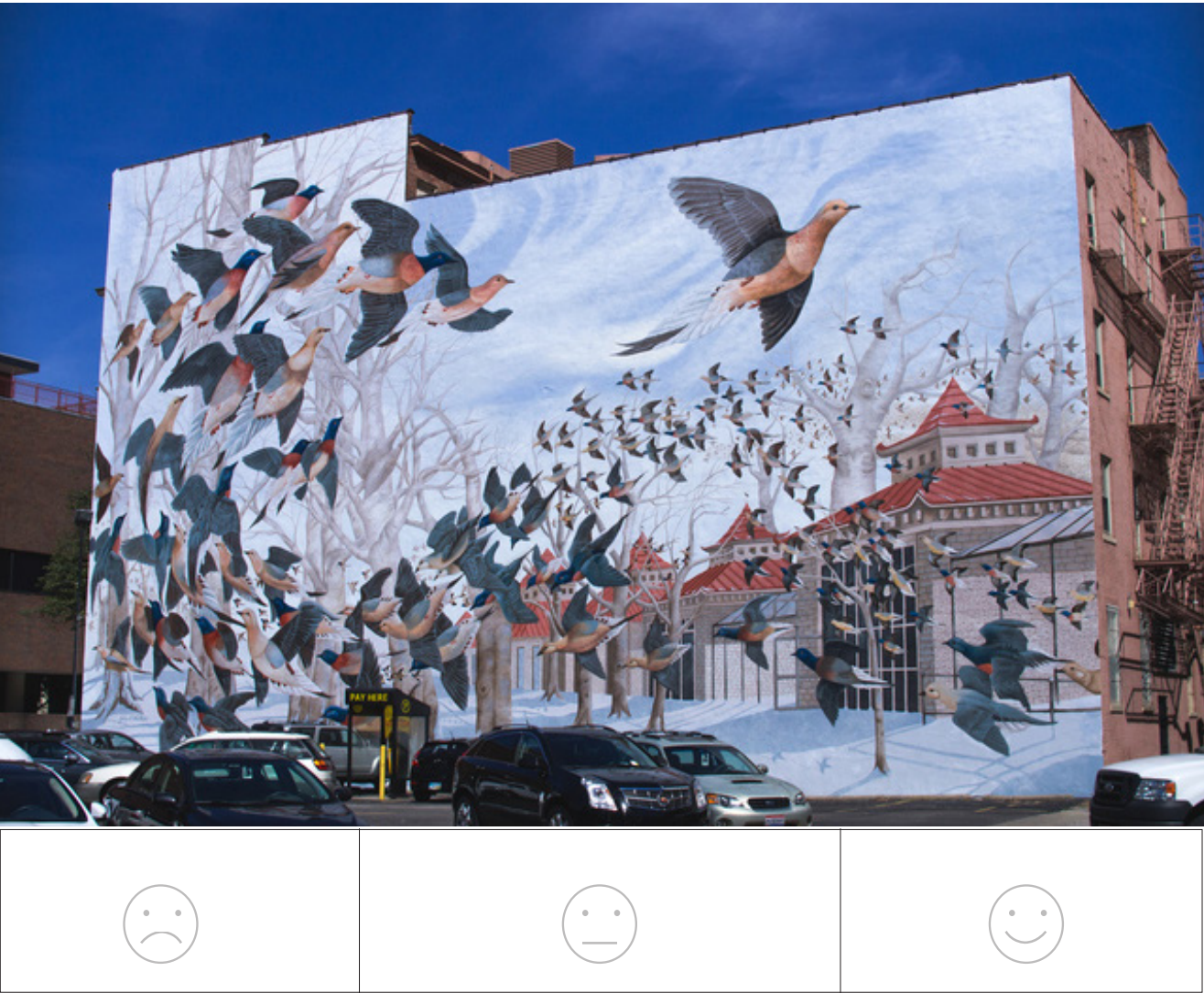
Programming & Events



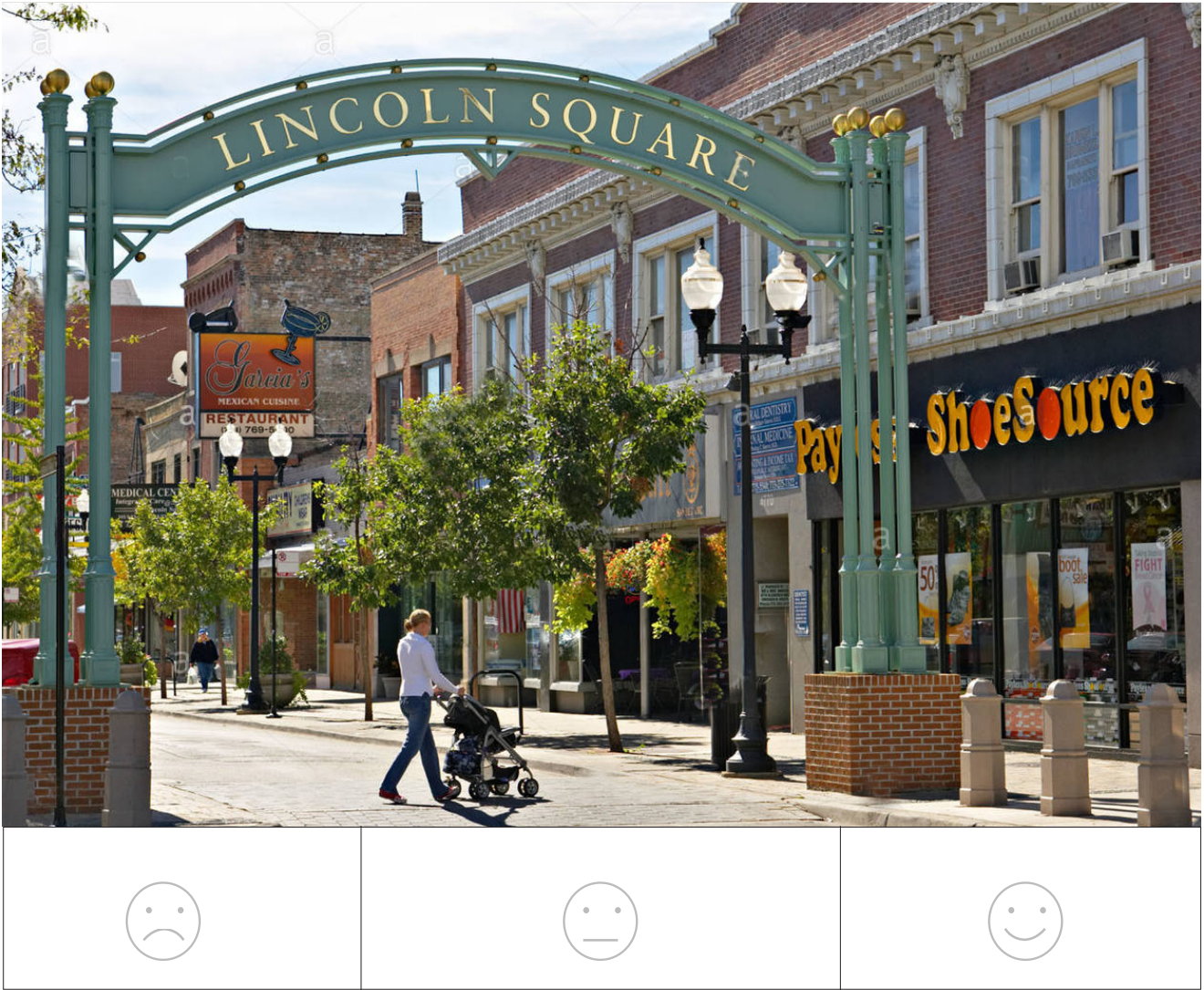
Cultural Events



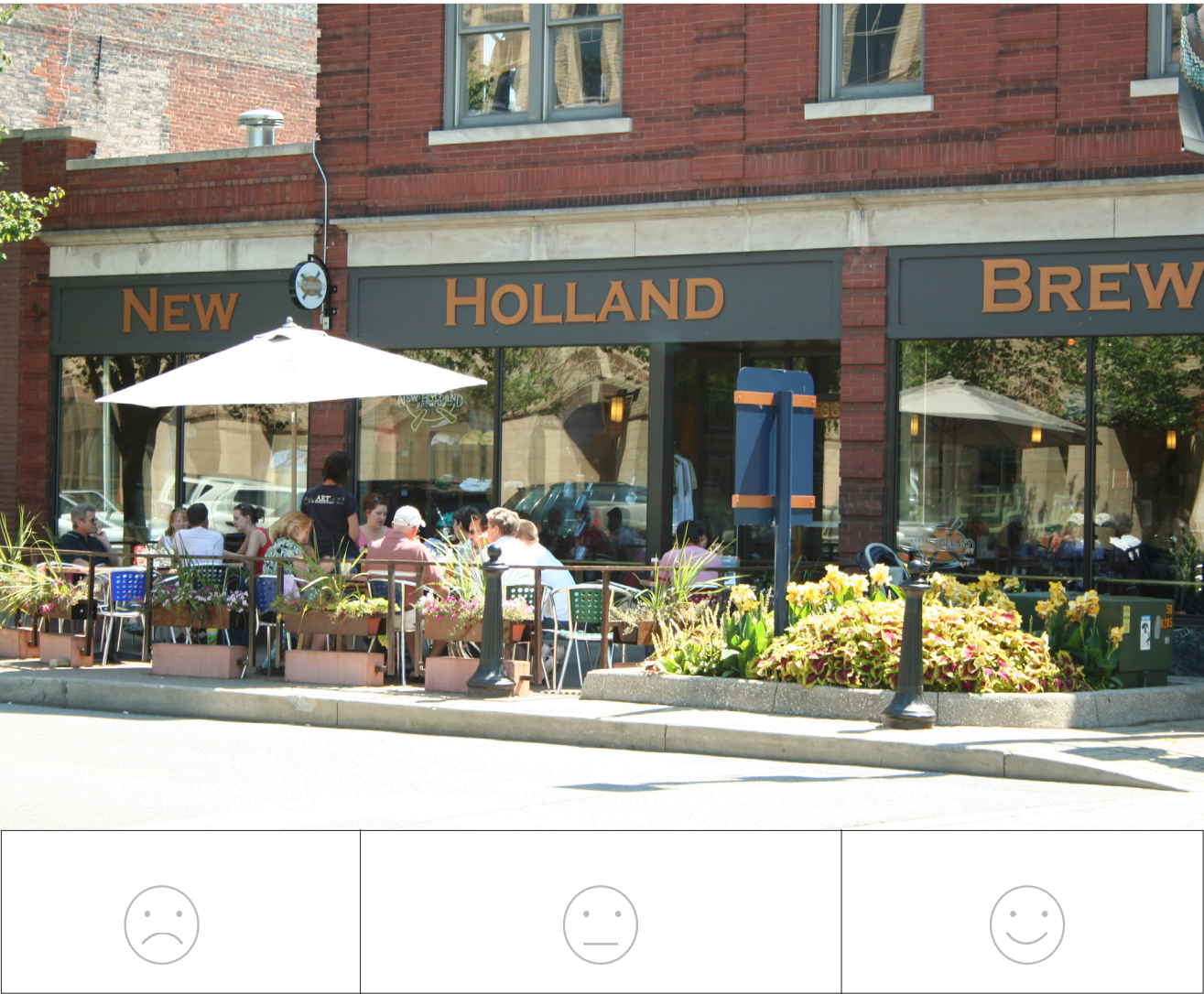
Murals & Art



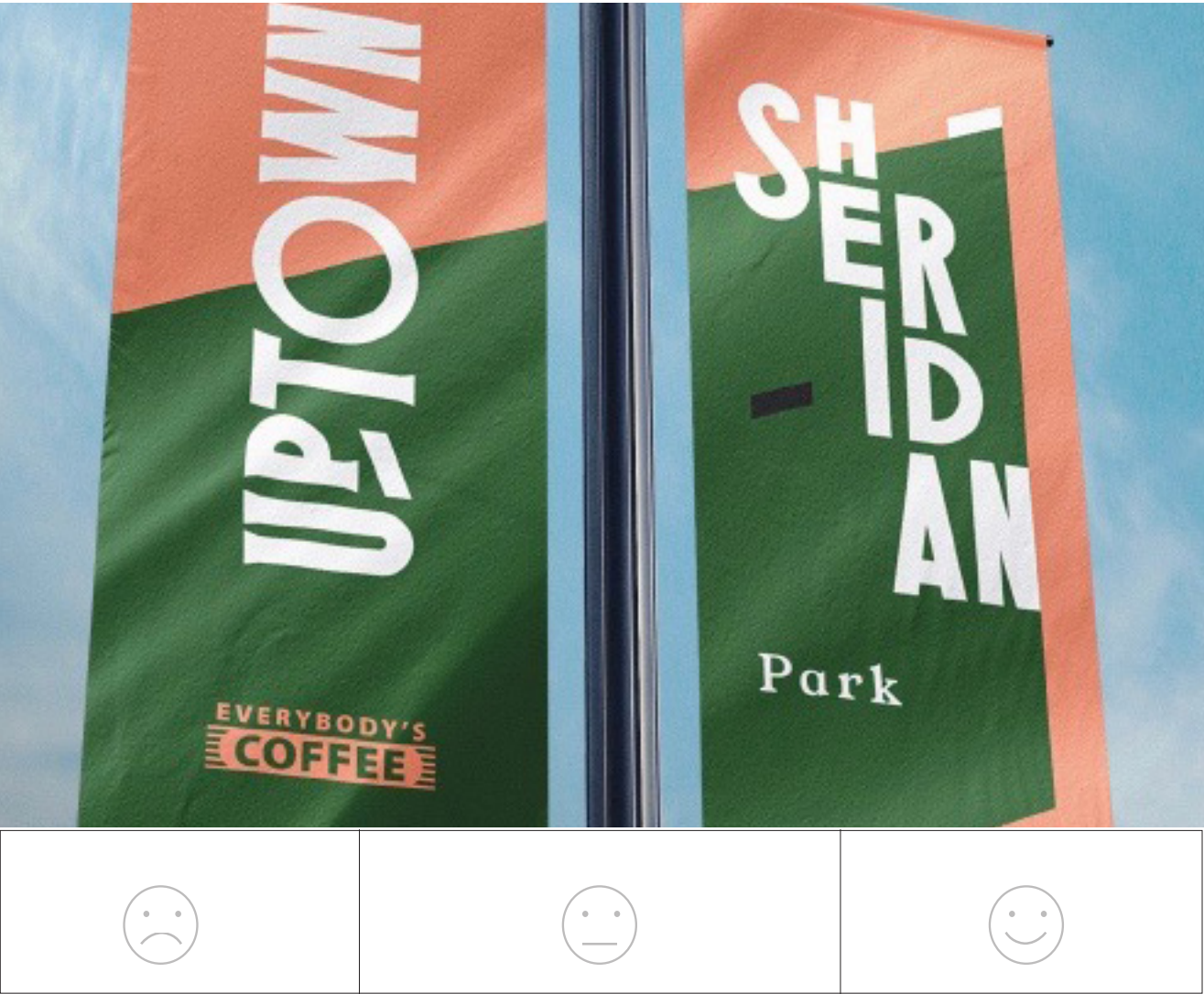
Gateways



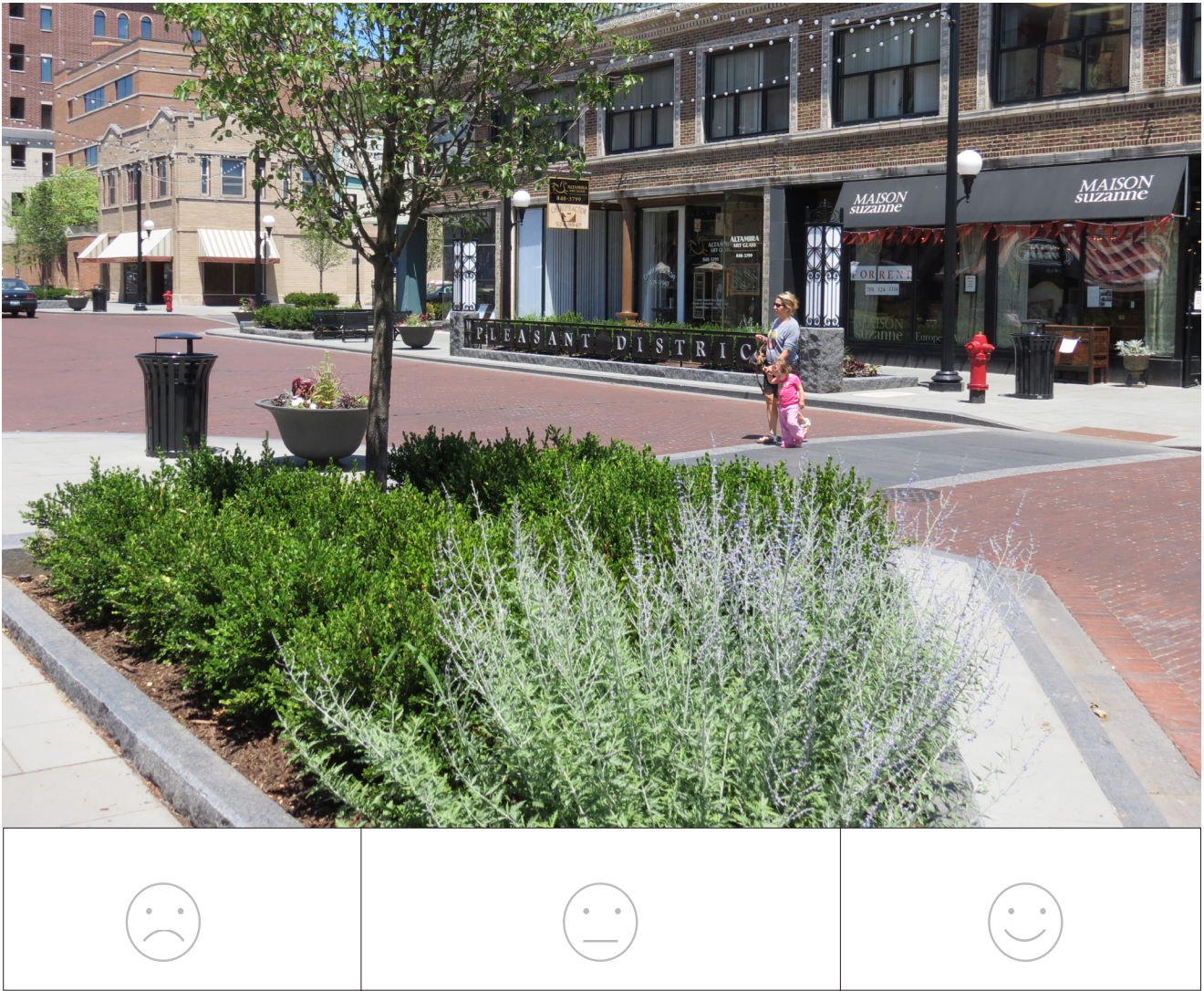
Outdoor Dining



Community Identifiers



Landscaping



Walkability & Connectivity

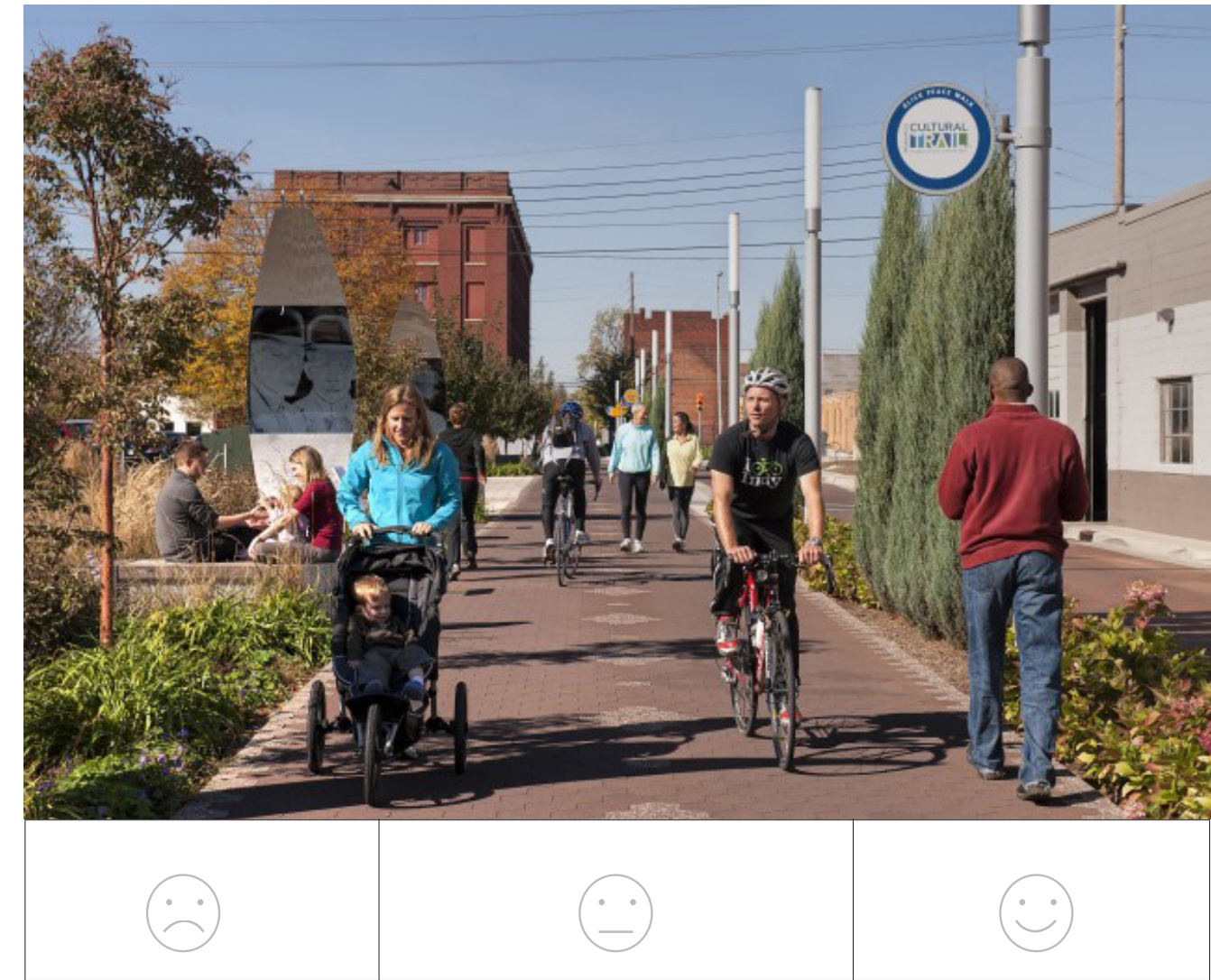
VISUAL PREFERENCE

Safety & Comfort

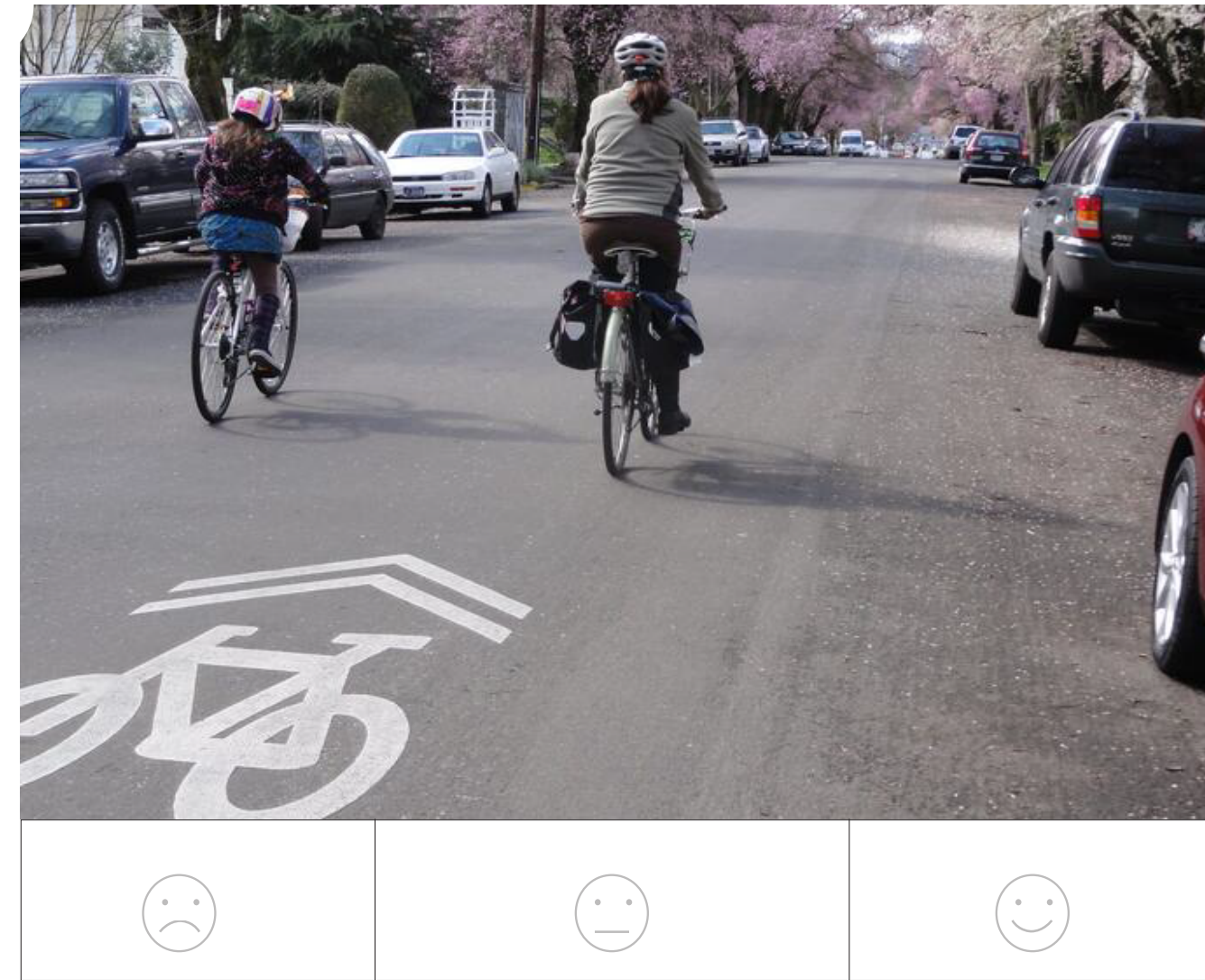
➤ Which mobility initiatives would you like to see for Webster Groves? Use the sticky dots provided to mark the level of which you like or dislike the images shown below.

Cycling Infrastructure

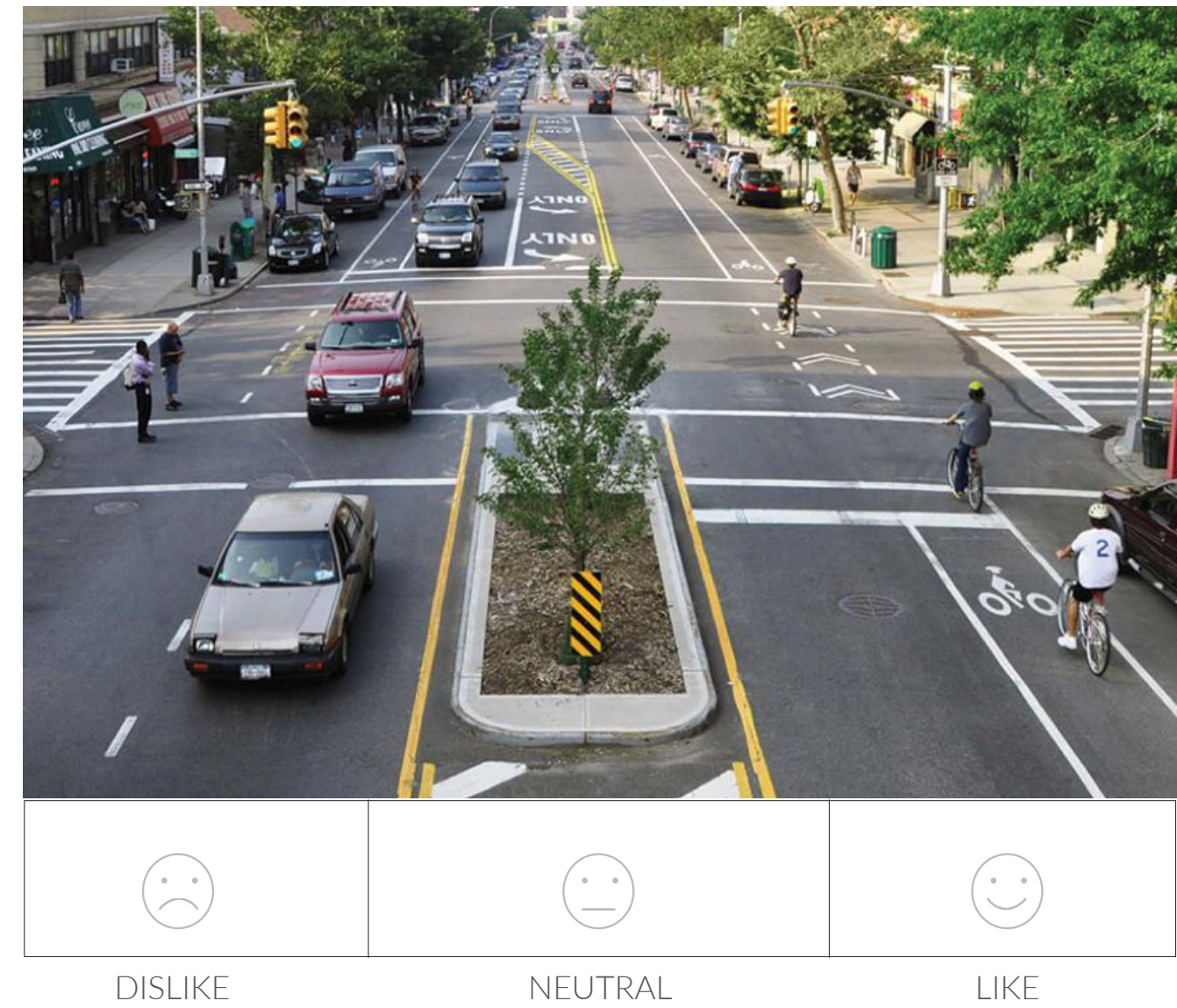
Separated Facility



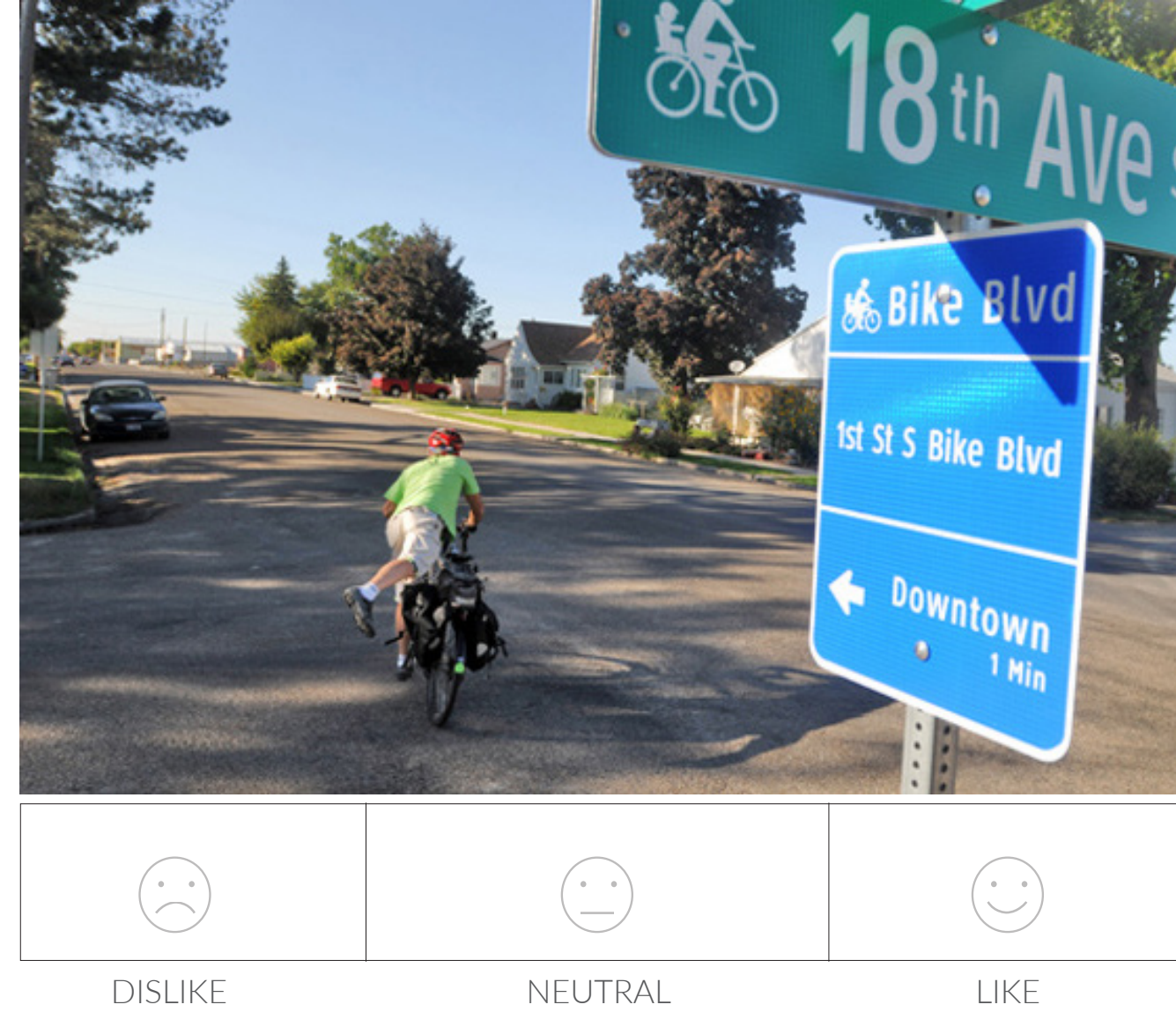
Neighborhood Greenway



Complete Street Road Diet



Cycling Signage

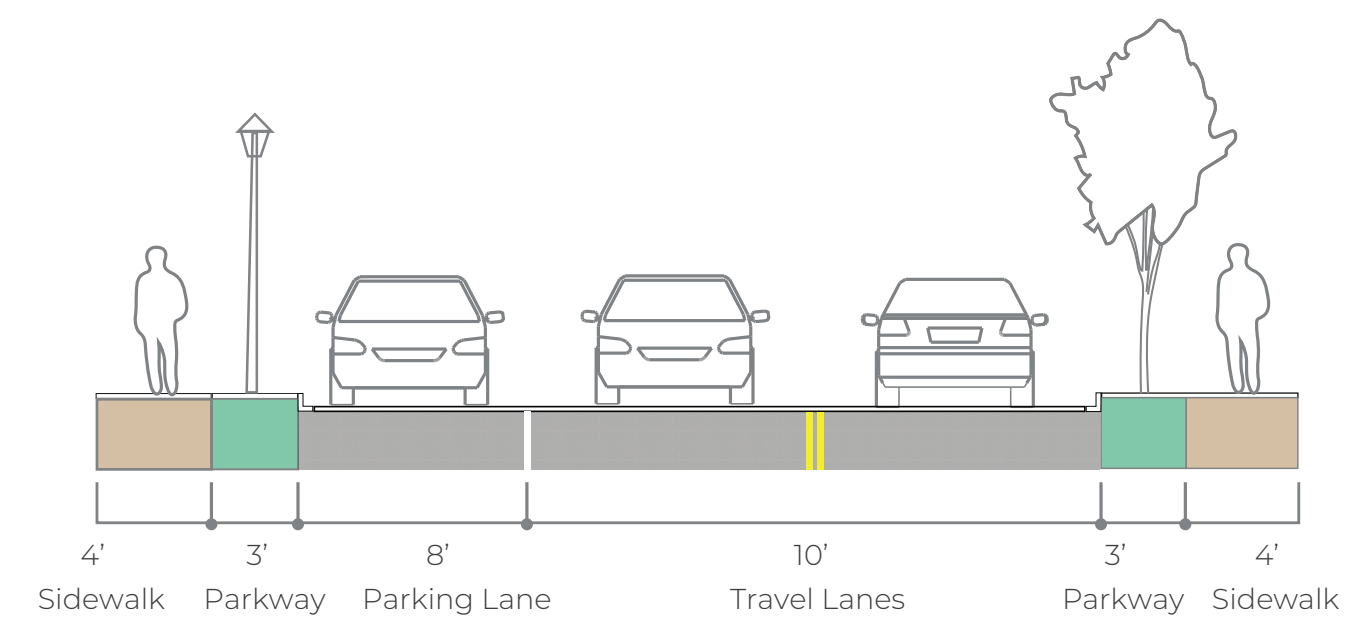


Complete Streets

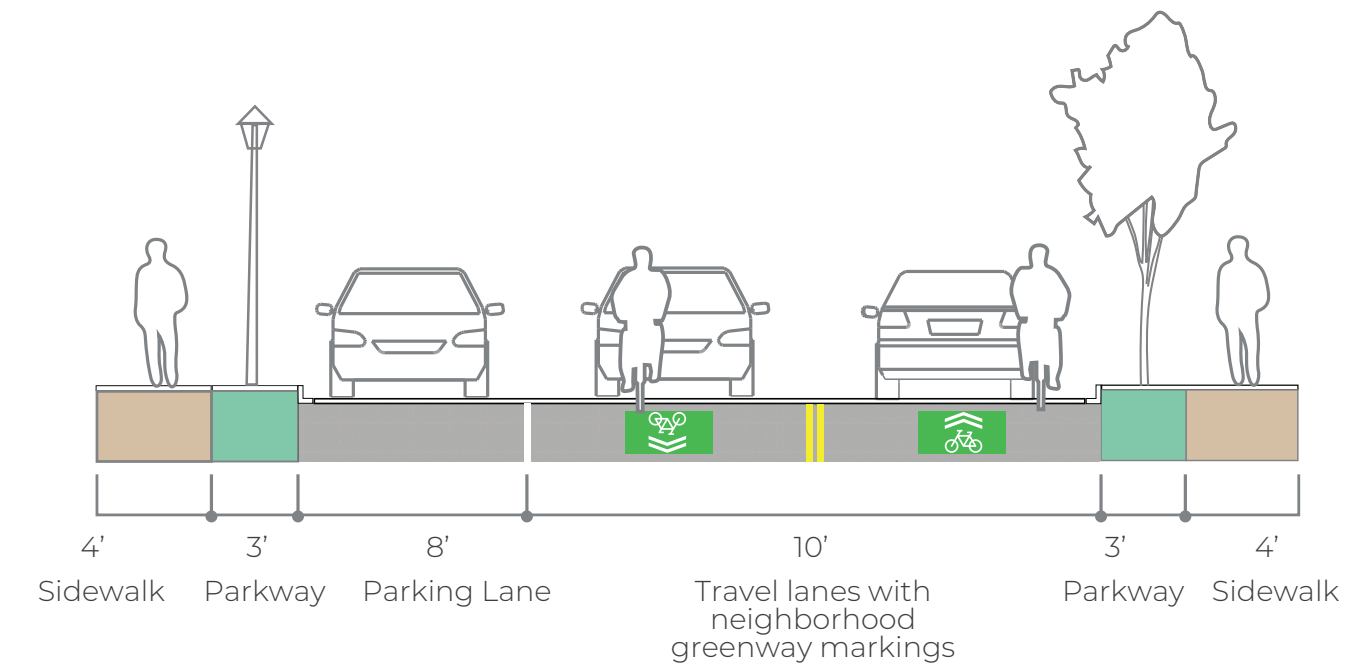
The cross sections below highlight the trade-offs a community can consider to make streets safer for all users. Marshall Avenue, between Glen Road and Laclede Station Road, serves as the example for these illustrations.

- **Neighborhood Greenways:** This option maintains the existing travel lanes while adding markings to indicate that lanes are shared with cyclists.
- **Complete Streets:** This approach removes parking to create a separated, bi-directional bike lane and widens the sidewalks for pedestrians.

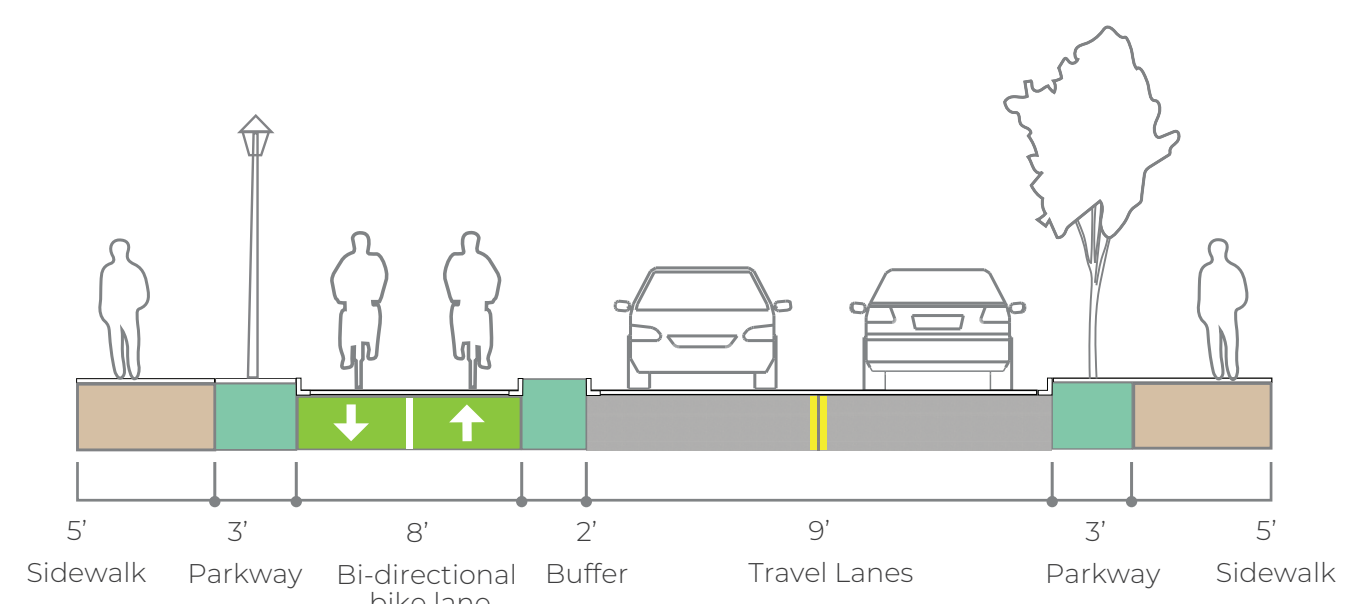
Existing Streetscape



Neighborhood Greenway

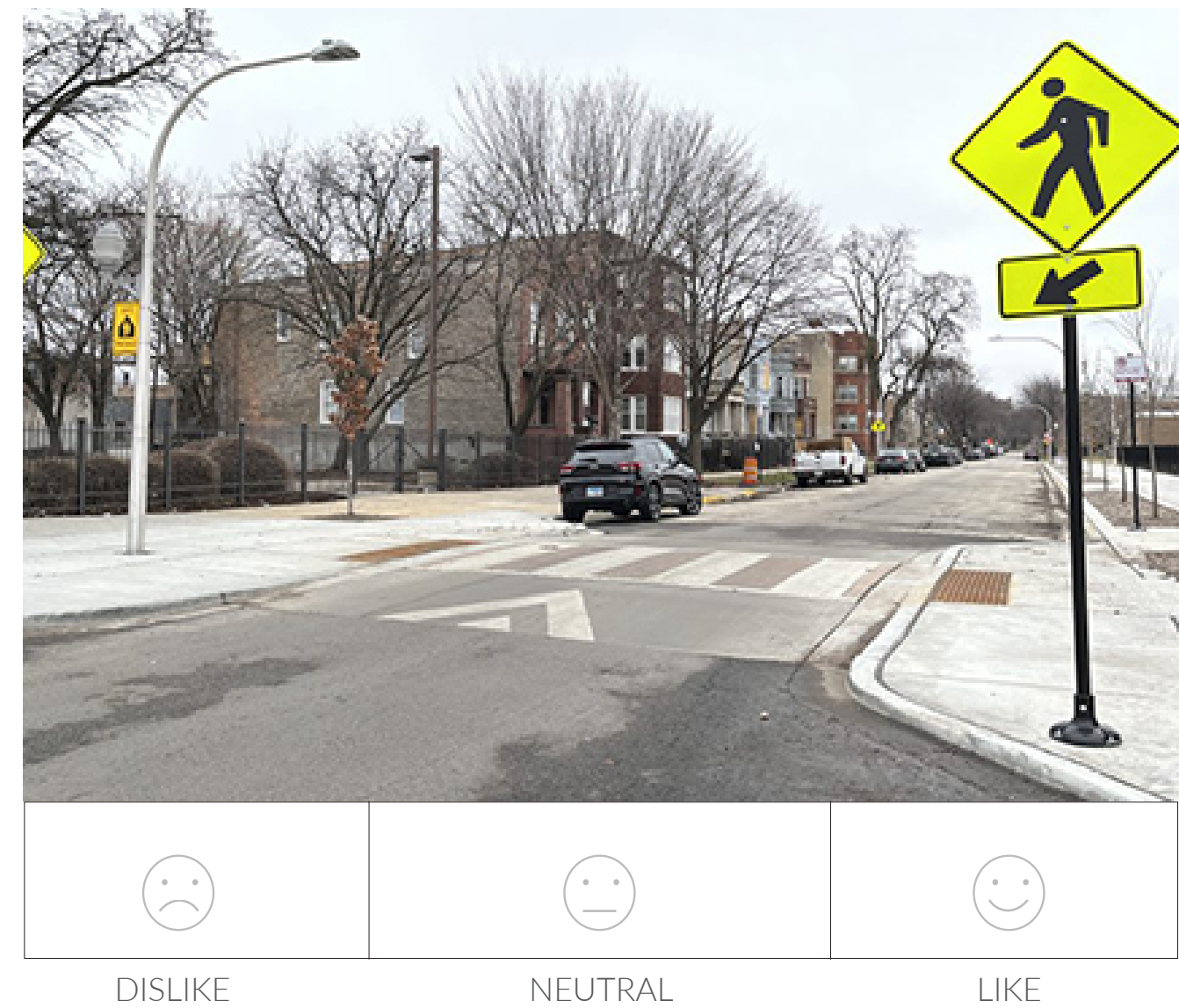


Complete Streets

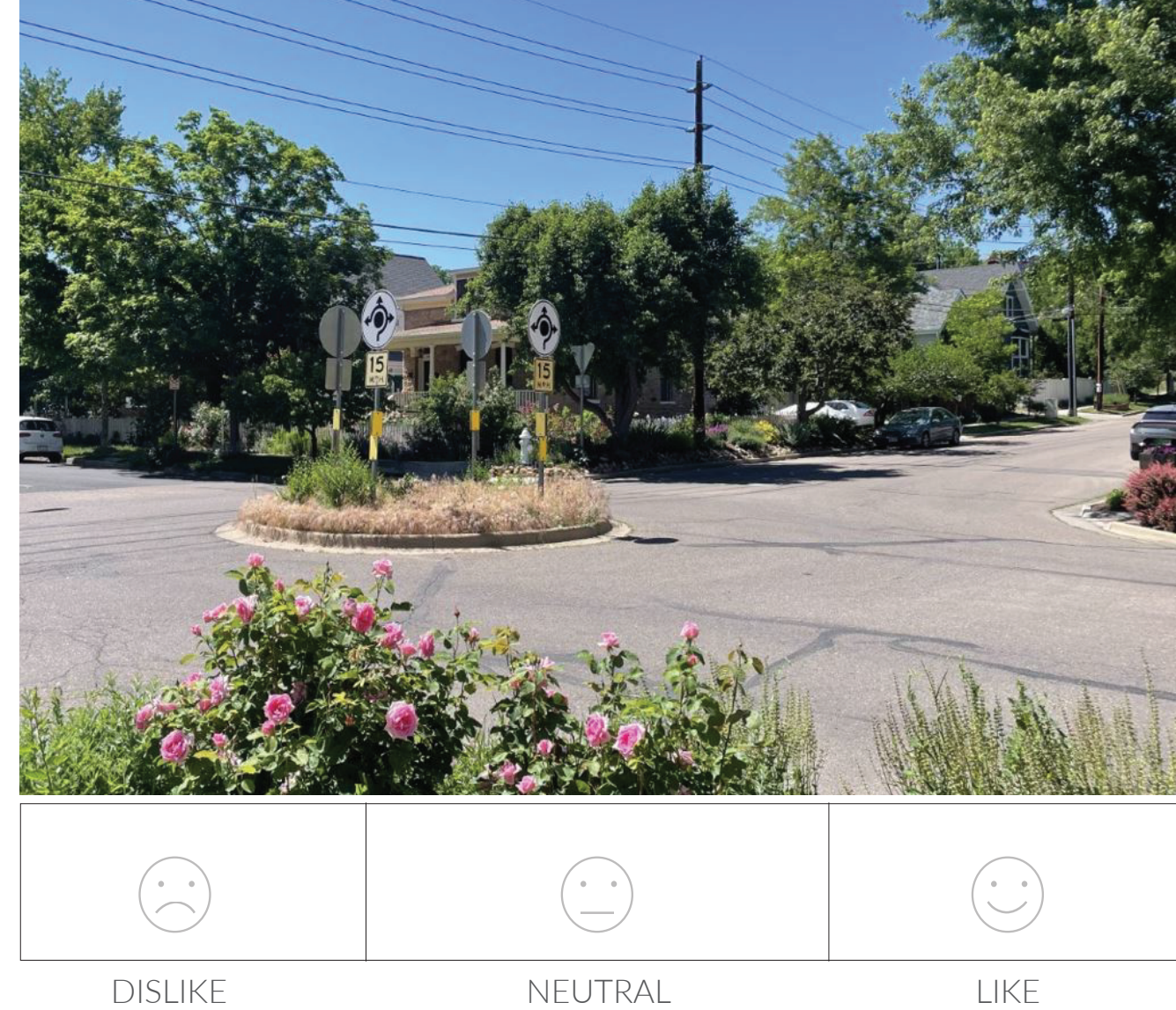


Safety & Comfort Improvements

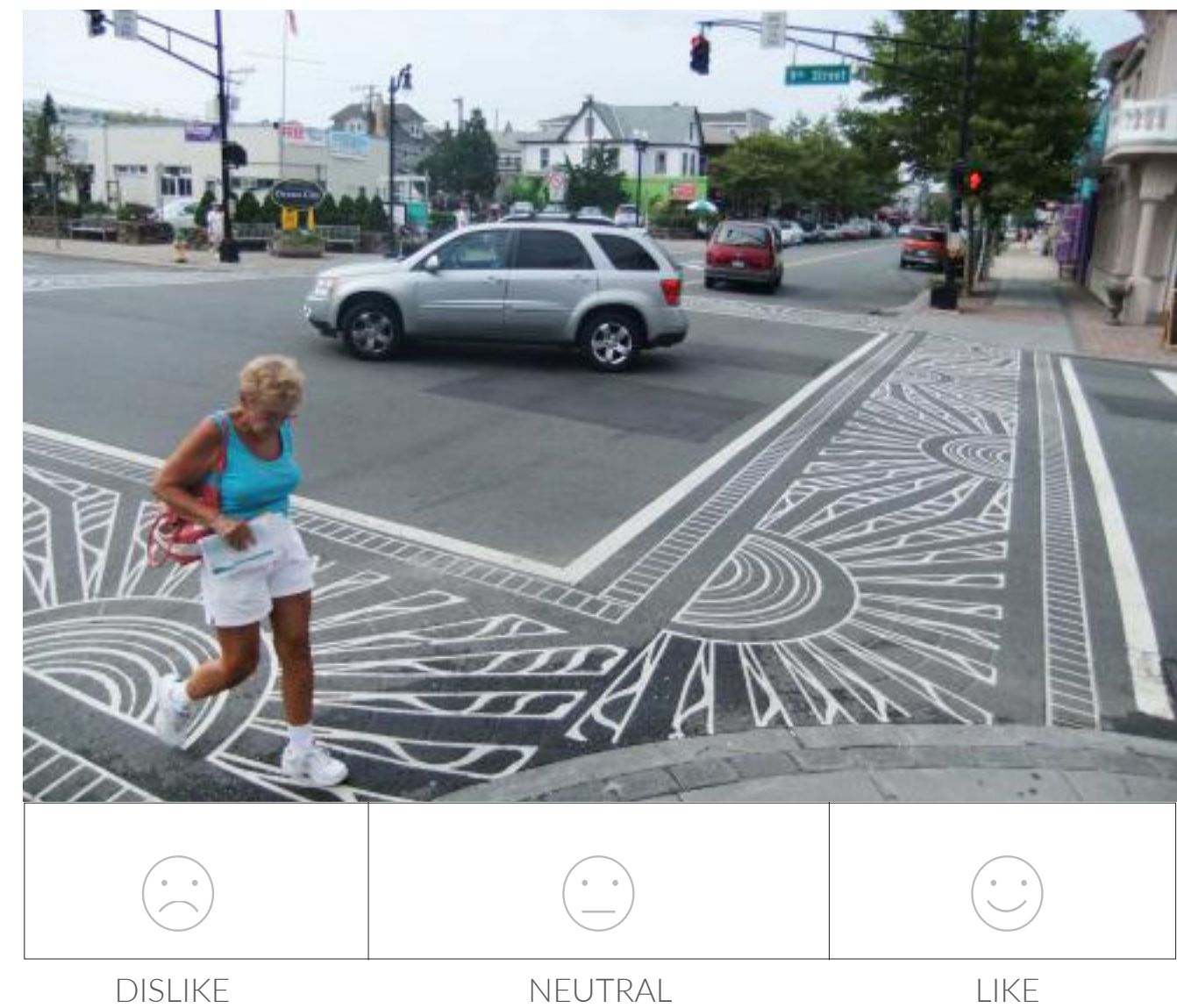
Raised Crossing



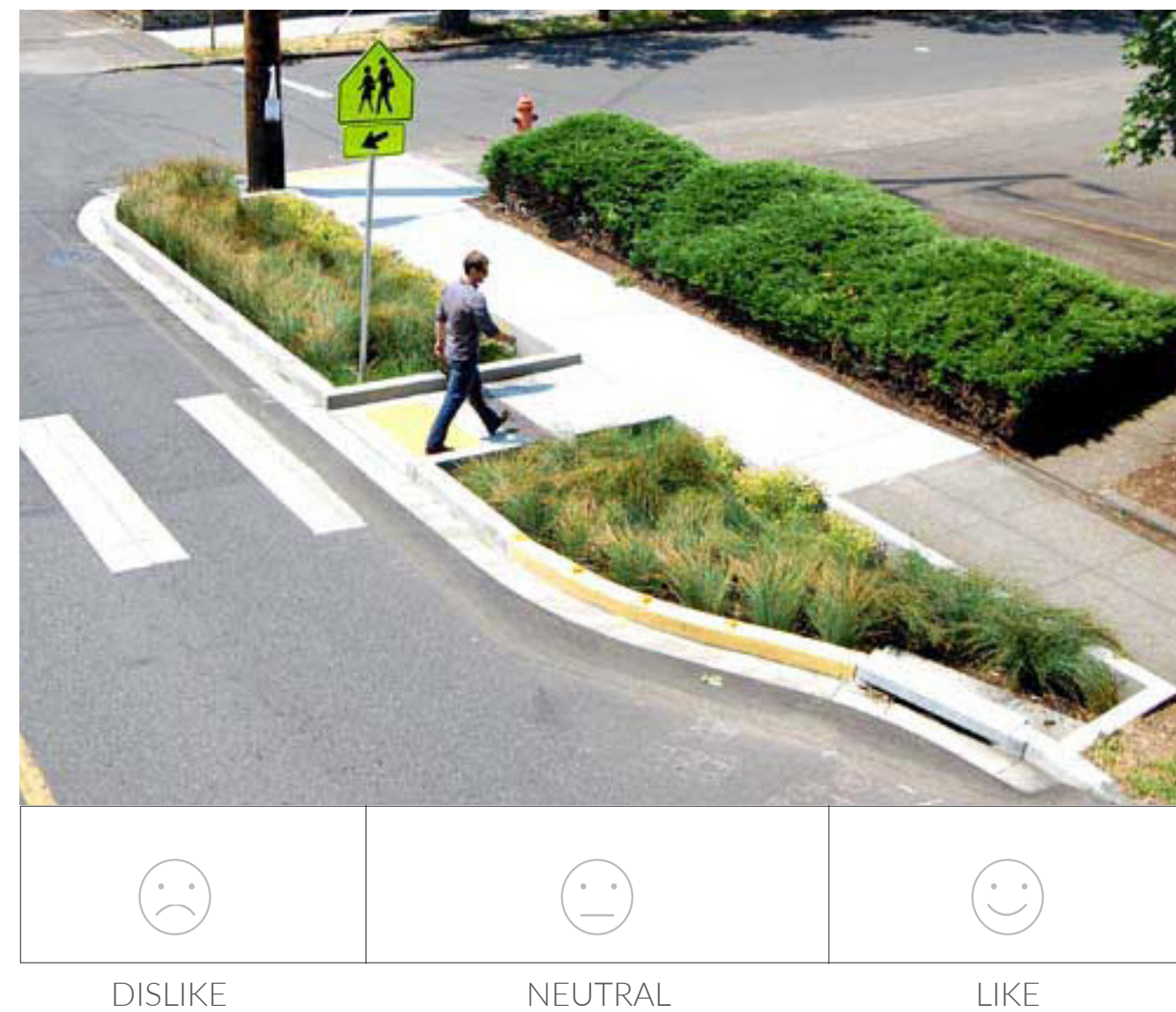
Mini Traffic Circle



Decorative Crossings



Curb Extensions & Bump-Outs



Mobility Improvements

SAFETY & IDENTITY

Pedestrian & Cycling Infrastructure

➤ **What areas of Webster Groves could benefit from mobility improvements?** The map below illustrates potential bicycle (green) and pedestrian (blue) improvements that would enhance connectivity in Webster. Use a pushpin and string to create your own desired connections through Webster Groves for:

- Pedestrian Improvements
- Bicycle Improvements
- Intersection Safety Enhancements

